

APPROX SEWER LINE

LOT 1 DP 840403

04.2

LOT 1 DP 840403

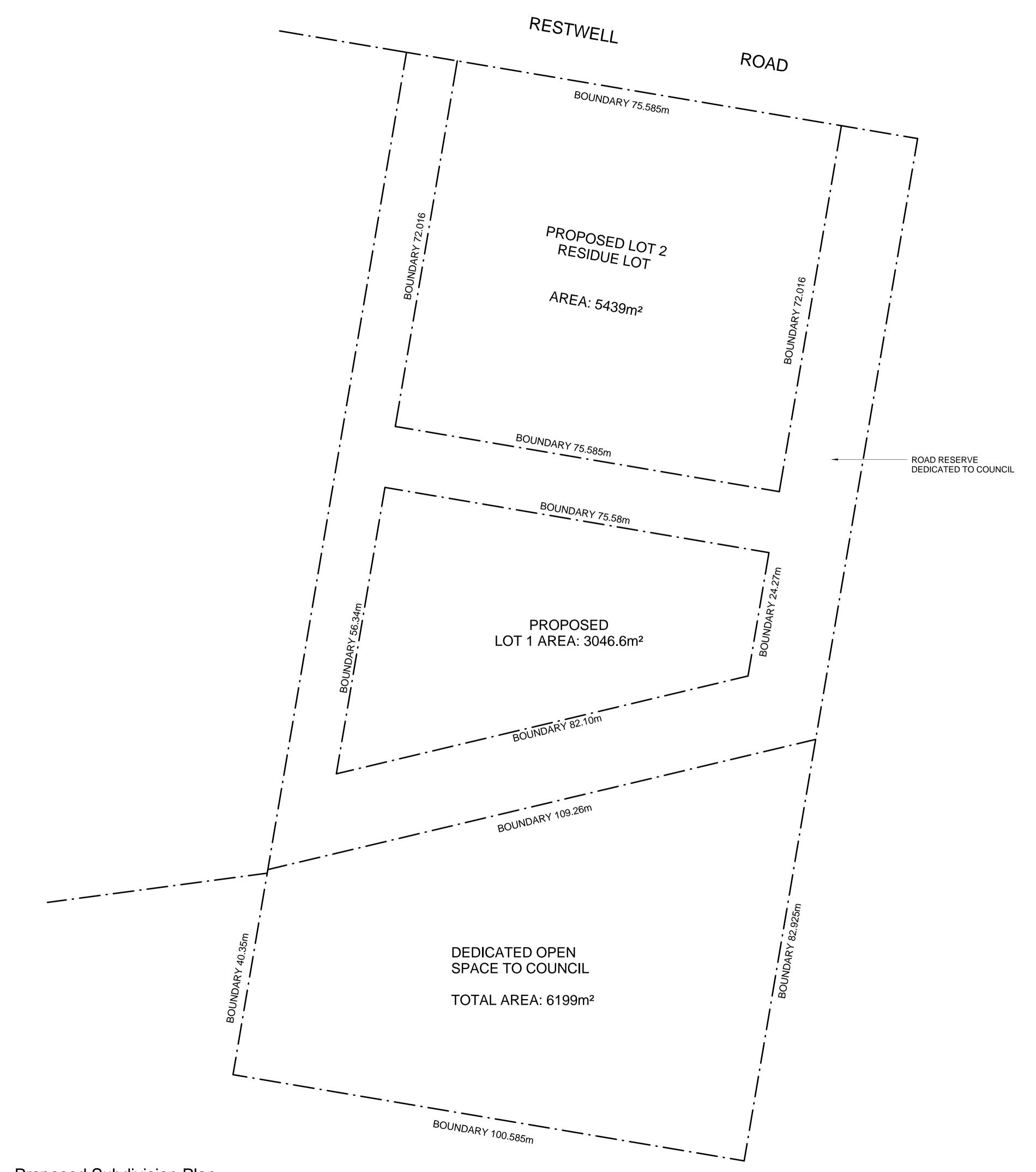
## REFER TO PROPOSED SUBDIVISION PLAN SHEET 02.1 FOR LOT & ROAD RESERVE CONFIGURATION RELATING TO THIS DEVELOPMENT APPLICATION

FINAL STAGE ROAD NETWORK PLAN INDICATED. REFER TO STAGE 1 ROAD DESIGN PLAN - SHEET 04 FOR TEMPORARY ROAD ACCESS PLAN.

No.	[	Description		Dat	te
- 0	DELETE CO	MMERCIAL TENANC	Y	09.06.15	
Ν		GN AND BUILDING ITS - FOR APPROVAI	L	05.06.15	
М	DA AMENDI	IENTS - FOR APPRO	VAL	16.12.14	
L	DRAFT AME	NDMENTS		04.12.14	
К	BASIX INFO	RMATION		01.09.14	
J	DA AMENDI	IENTS - FOR APPRO	VAL	01.08.14	
I	CONSULTA	NT ISSUE		23.07.14	
brought t accordar	o the attention of the	y, do not scale. All d on of the author. All l 3CA & all relevant co oor openings.	building	work shall	be in
	E & C(	ONTEXT	. PL	AN	
SITE	POSE	ONTEXT D RESIDEN	ITIAI		
SITE PRO APAE	POSEE RTMEN		ITIAI IG 34,	L	00[
SITE PRO APAE	POSEE RTMEN	D RESIDEN IT BUILDIN ON E DP:693	ITIAI IG 34, PRAII	L	
SITE PRO APAE LOT 7 184-1 Date.	POSEE RTMEN	D RESIDEN IT BUILDIN ON E DP:693 TWELL RD F	ITIAI IG 34, PRAII	L	
SITE PRO APAE LOT 7 184-1 Date.	POSEE RTMEN 7 SECTI 92 RES	D RESIDEN IT BUILDIN ON E DP:693 TWELL RD F Job No. 2248_[	ITIAI IG 34, PRAII DA	L RIEWC eet No.	
SITE PRO APAF LOT 7 184-1 Date. 2 Scale.	POSEE RTMEN 7 SECTI 92 RES	D RESIDEN IT BUILDIN ON E DP:693 TWELL RD F	ITIAI IG 34, PRAII	L RIEWC eet No.	
SITE PRO APAF LOT 7 184-1 Date. 2 Scale. As inc.	POSED RTMEN 2 SECTI 92 RES 3.06.15	D RESIDEN IT BUILDIN ON E DP:693 TWELL RD F Job No. 2248_[ Drawn by. JM	ITIAI IG 34, PRAII DA	L RIEWC eet No.	

nominated architect Alfredo Pagano 6774 Salvatore Pagano 7003

LOT 101 DP 806884

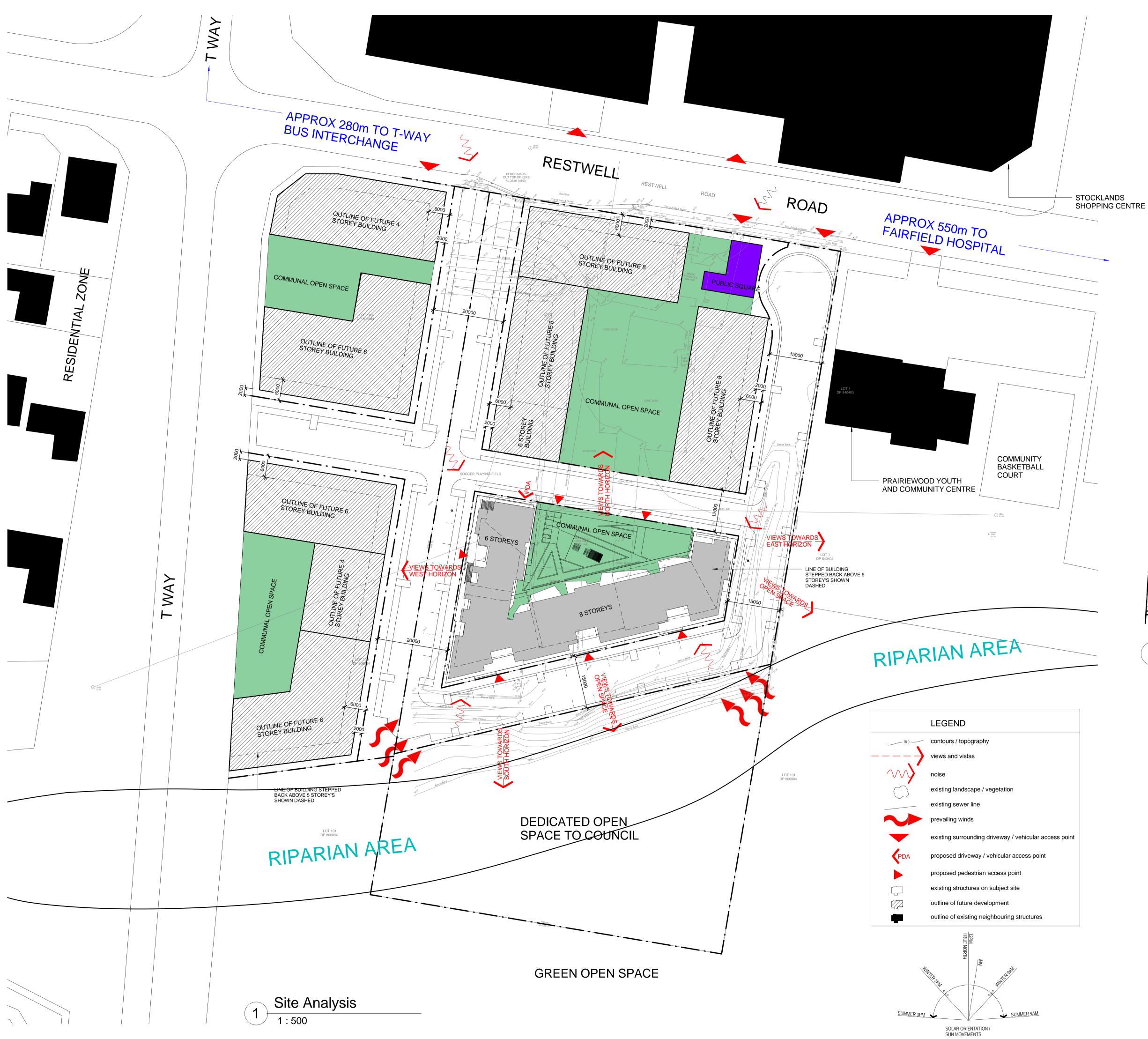


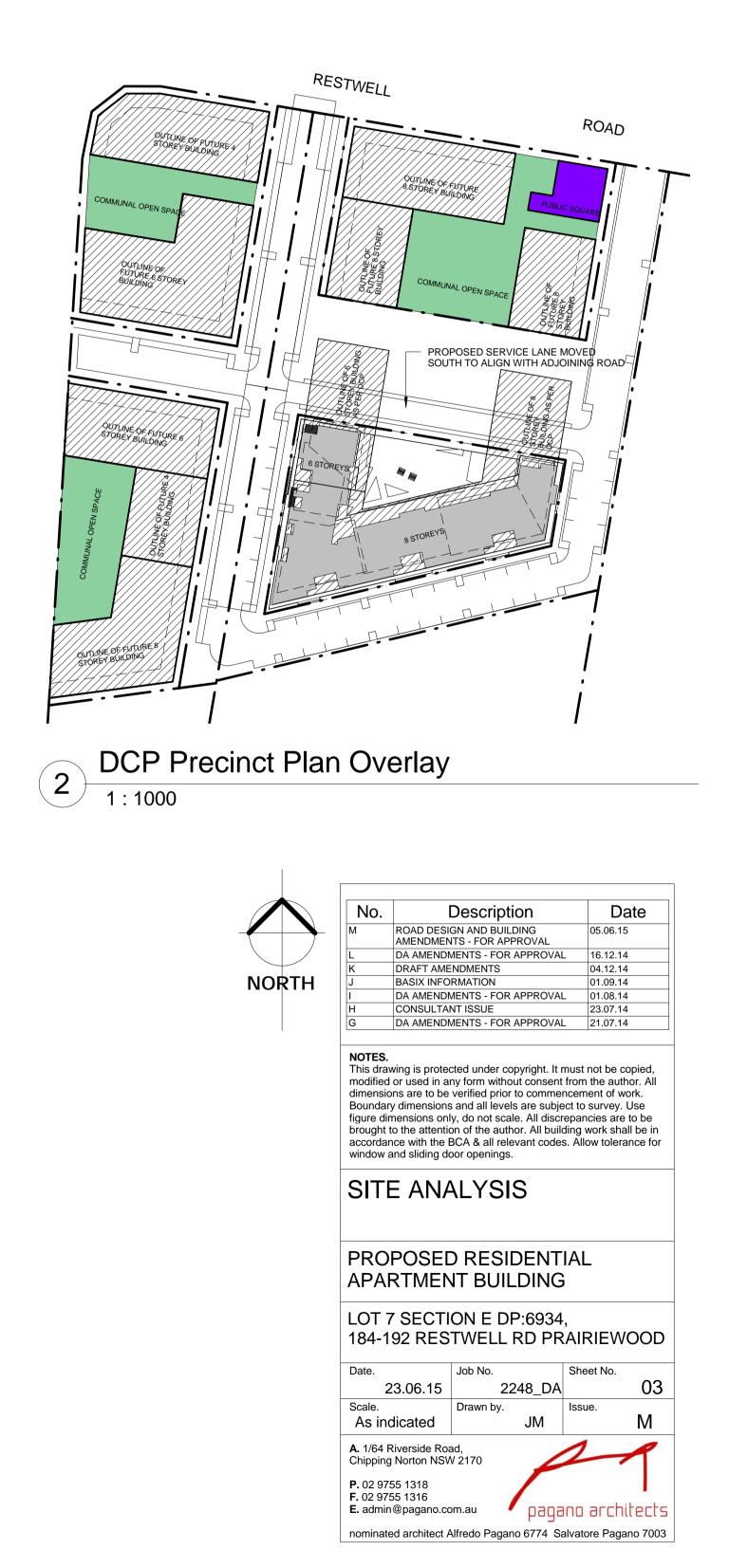
1 Proposed Subdivision Plan 1:400

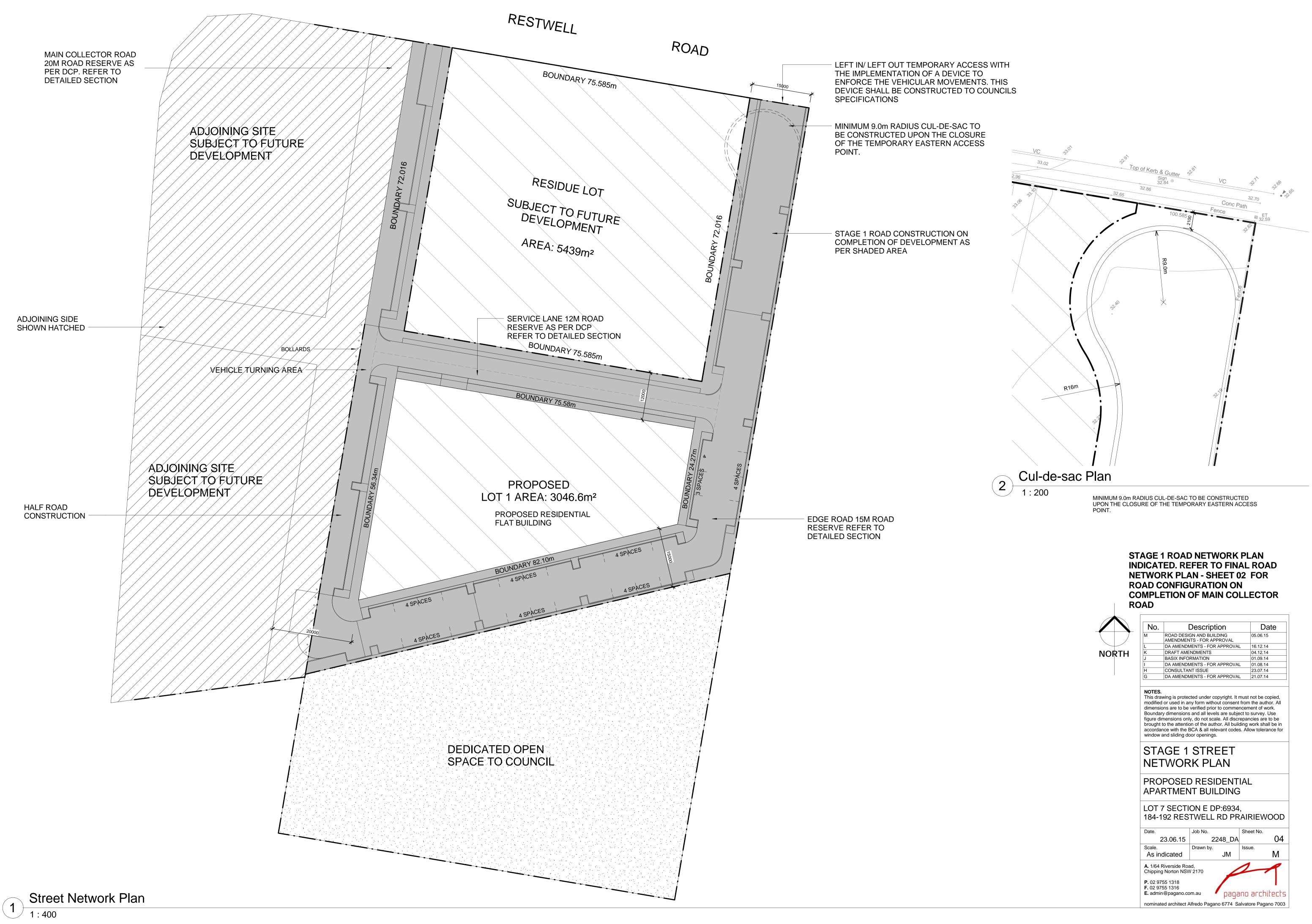
## **NOTES.** This drawing is protected under copyright. It must not be copied, modified or used in any form without consent from the author. All dimensions are to be verified prior to commencement of work. Boundary dimensions and all levels are subject to survey. Use figure dimensions only, do not scale. All discrepancies are to be brought to the attention of the author. All building work shall be in accordance with the BCA & all relevant codes. Allow tolerance for window and sliding door openings. PROPOSED SUBDIVISION PLAN PROPOSED RESIDENTIAL APARTMENT BUILDING LOT 7 SECTION E DP:6934, 184-192 RESTWELL RD PRAIRIEWOOD Date. Job No. Sheet No. 02.1 23.06.15 2248\_DA Scale. Drawn by. Issue. 1:400 В JM **A.** 1/64 Riverside Road, Chipping Norton NSW 2170 **P.** 02 9755 1318 **F.** 02 9755 1316 **E.** admin@pagano.com.au pagano architects nominated architect Alfredo Pagano 6774 Salvatore Pagano 7003

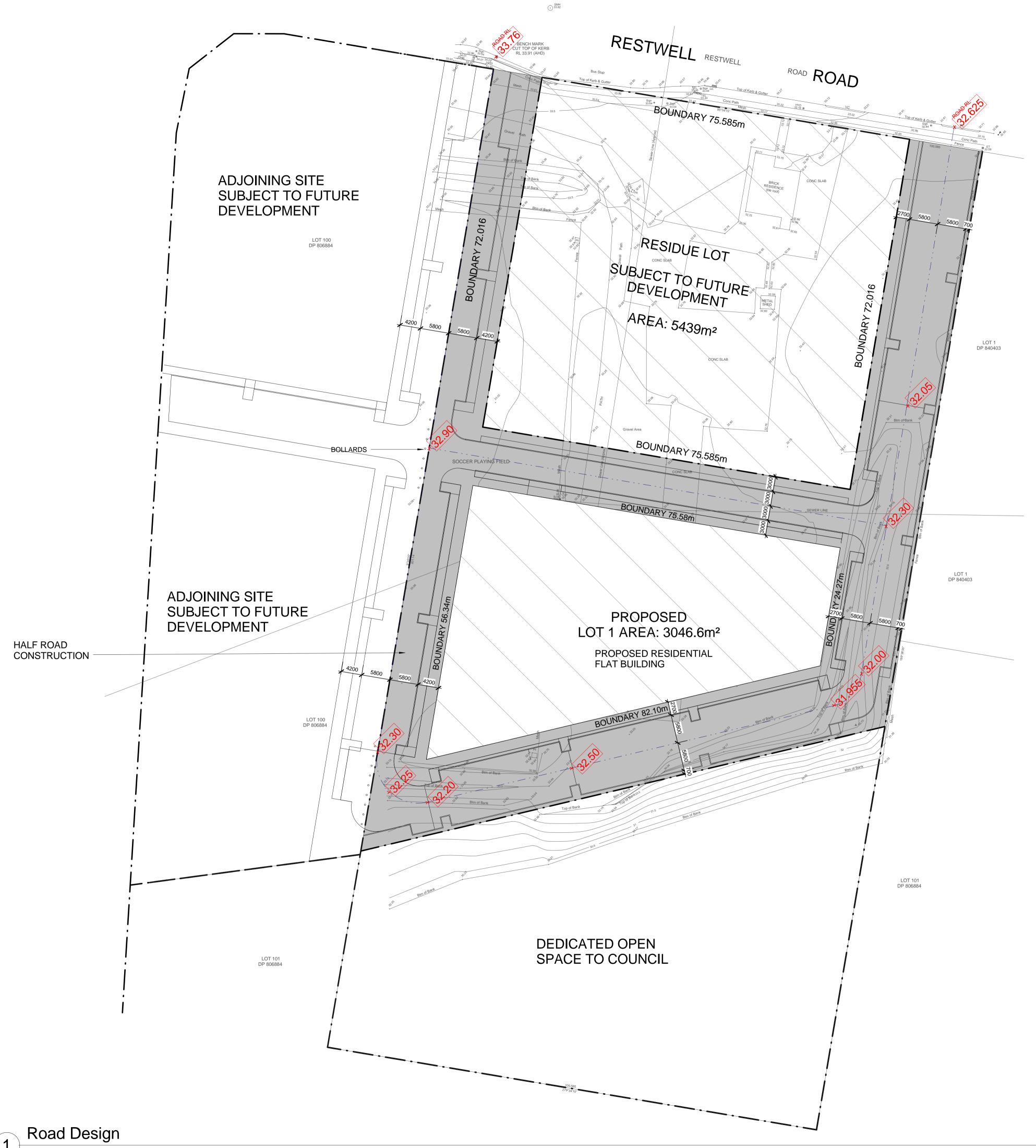
NORTH

No.	Description	Date
В	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
A	DA AMENDMENTS - FOR APPROVAL	16.12.14





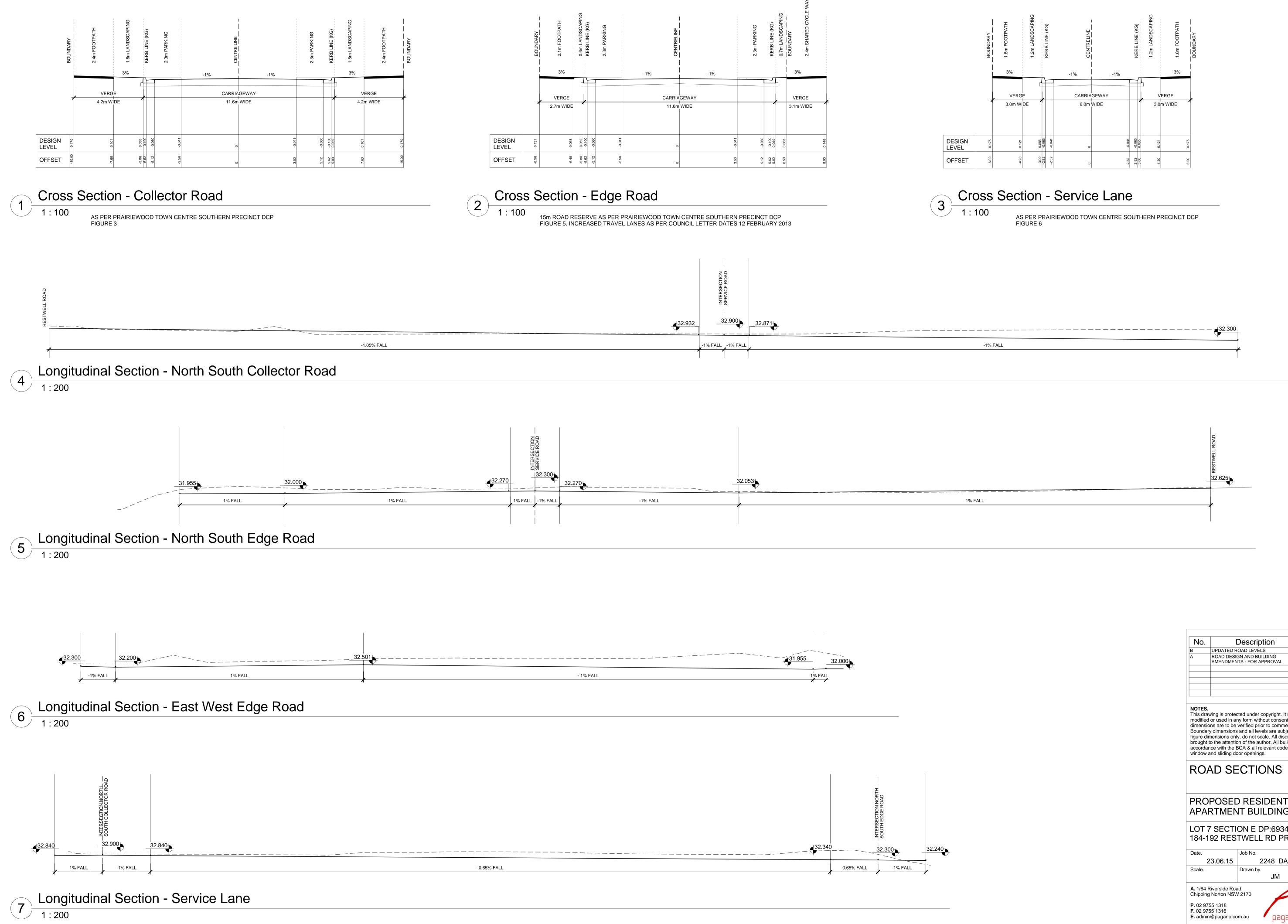


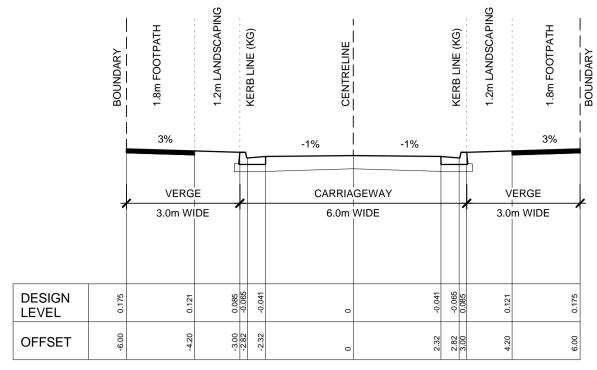


1 **Road** 1 : 400

### STAGE 1 ROAD DESIGN PLAN INDICATED. REFER TO FINAL ROAD **NETWORK PLAN - SHEET 02 FOR ROAD CONFIGURATION ON** COMPLETION OF MAIN COLLECTOR ROAD

No.		Descriptio	on		Date
С	UPDATED R	OAD LEVELS		2	3.06.15
В		GN AND BUILD ITS - FOR APP		0	5.06.15
٩	DA AMEND	IENTS - FOR A	PPROVA	_ 1	6.12.14
dimensic Boundar figure dir brought accordar	ons are to be y dimensions nensions onl to the attention nce with the I	ny form withou verified prior t and all levels y, do not scale on of the autho BCA & all relev por openings.	o comme are subje e. All discr or. All build	ncemei ect to si repanci ding wo	nt of work. urvey. Use es are to be ork shall be in
RO	AD DE	ESIGN	DE	TAI	LS
PRO	POSEI	SIGN D RESID	DENT	IAL	LS
PRO APAI	POSEI RTMEN 7 SECTI	D RESIE	DENT DING 2:6934	IAL	
PRO APAI LOT 7 184-1 <sub>Date.</sub>	POSEE RTMEN 7 SECTI 92 RES	D RESIE IT BUIL ON E DF	DENT DING 2:6934	IAL	
PRO APAI LOT 7 184-1 <sub>Date.</sub>	POSEI RTMEN 7 SECTI	D RESIE IT BUIL ON E DF TWELL F Job No.	DENT DING 2:6934		IEWOOD
PRO APAI LOT 7 184-1 Date. 2 Scale.	POSEE RTMEN 7 SECTI 92 RES 23.06.15	D RESIE IT BUIL ON E DF TWELL F Job No.	DENT DING 2:6934 RD PR 48_DA		IEWOOD No. 04.1
PRO APAI LOT 7 184-1 Date. 2 Scale.	POSEE RTMEN 7 SECTI 92 RES	D RESID IT BUIL ON E DP TWELL F Job No. 224	DENT DING 2:6934 RD PR	IAL , AIR Sheet	IEWOOD No. 04.1
PRO APAI LOT 7 184-1 Date. 2 Scale. A. 1/64 F Chipping	POSEE RTMEN 7 SECTI 92 RES 23.06.15 1 : 400 Riverside Roa Norton NSV	D RESID IT BUIL ON E DP TWELL F Job No. 22 Drawn by.	DENT DING 2:6934 RD PR 48_DA	IAL , AIR Sheet	IEWOOD No. 04.1
PRO APAI LOT 7 184-1 Date. 2 Scale. A. 1/64 F Chipping P. 02 97 F. 02 97	POSED RTMEN 7 SECTI 92 RES 23.06.15 1 : 400 Riverside Roa 9 Norton NSV 55 1318 55 1318	D RESID IT BUIL ON E DP TWELL F Job No. 22 Drawn by.	DENT DING 2:6934 RD PR 48_DA JM	IAL , Sheet Issue	IEWOOD 1 No. 04.1 C
PRO APAI LOT 7 184-1 Date. 2 Scale. A. 1/64 F Chipping P. 02 97 F. 02 97	POSEE RTMEN 7 SECTI 92 RES 23.06.15 1 : 400 Riverside Roa Norton NSV 55 1318	D RESID IT BUIL ON E DP TWELL F Job No. 22 Drawn by.	DENT DING 2:6934 RD PR 48_DA JM	IAL , Sheet Issue	IEWOOD





No.		Descripti	on		Date
В	UPDATED F	ROAD LEVELS		23.0	
A		GN AND BUILI ITS - FOR APF		05.0	6.15
<b>NOTES.</b> This dra	wing is protec	cted under co	pyright. It r	nust not b	e copied,
dimensio Boundar figure dii brought accordai	ons are to be y dimensions mensions on to the attention nce with the I	ny form witho verified prior and all levels by, do not scal on of the auth 3CA & all rele bor openings.	to comments are subjected end of the second	ncement o ect to surv epancies ding work	of work. ey. Use are to be shall be in
RO/	AD SE	ECTIO	NS		
PRO	POSEI	O RESII	DENT		
PRO APAI	POSEI RTMEN 7 SECTI	D RESI	DENT DING P:6934	,	WOOD
PRO APAI LOT 7 184-1 Date.	POSEI RTMEN 7 SECTI 92 RES	D RESII IT BUIL ON E DF TWELL	DENT DING P:6934 RD PR	,	D.
PRO APA LOT 7 184-1 Date.	POSEI RTMEN 7 SECTI	D RESII IT BUIL ON E DF TWELL Job No. 22	DENT DING P:6934	, AIRIE Sheet No	
PRO APA LOT 7 184-1 Date.	POSEI RTMEN 7 SECTI 92 RES	D RESII IT BUIL ON E DF TWELL	DENT DING P:6934 RD PR	, AIRIE	D.
PRO APA LOT 7 184-1 Date. 2 Scale.	POSEI RTMEN 7 SECTI 92 RES	D RESII IT BUIL ON E DF TWELL Job No. 22 Drawn by.	DENT DING P:6934 RD PR 248_DA	, AIRIE Sheet No	D.
PRO APA LOT 7 184-1 Date. 2 Scale. 2 Scale. 8 Chipping P. 02 97 F. 02 97	POSEI RTMEN 7 SECTI 92 RES 23.06.15 Riverside Roa 9 Norton NSV 55 1318	D RESII IT BUIL ON E DF TWELL Job No. 22 Drawn by.	DENT DING P:6934 RD PR 248_DA JM	, AIRIE Sheet No Issue.	D.







1:100







2400	5576 BALCONY
	W51
	BED 1
	LIVING UNIT D12, 17, 22
5 13 10000000000000000000000000000000000	
ana ananananananananananananananananana	119.7m <sup>2</sup> ENS. W54
BALCONY W49	DINING 10576 BED 2
W48	
DINING	BATH
	KITCHEN
16, Z	BED 3 2200 4 72.42
2 BED 92.7m <sup>2</sup>	À A A A A A A A A A A A A A A A A A A A
88 RL:39.50	DINING / LIVING
DYER D	
FIRE STAIRS 4 BATH	UNIT D13, 18,23 1 BED UNIT 55.9m <sup>2</sup> 1 DED UNIT
BATH	OF THE STATE
T D14, 10650	BED 1 KITCHEN
24 BED UNIT 6.1m <sup>2</sup> DINING / LIVING	
DINING / LT	
BALCONY W41	
BALS	No. Description Date
	E     ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL     05.06.15       D     DA AMENDMENTS - FOR APPROVAL     16.12.14
nptions have been used in the thermal and BASIX assessment. Should the following n reassessment may be required.	C     DRAFT AMENDMENTS     04.12.14       B     BASIX INFORMATION     01.09.14       A     DA AMENDMENTS - FOR APPROVAL     01.08.14
Glass     Frame     U     SHG     Area C     Detail       Single clear     Improved aluminium     6.35     0.77     -     C11, C15, C19	
Single clear Standard aluminium 7.32 0.77 To all other glazing, not listed above. U and SHGC values, if specified, are according to NFRC 100. Alternate products or used if their U value is lower, and the SHGC value is less than 10% higher or lower, than so of the product specified above.	<b>NOTES.</b> This drawing is protected under copyright. It must not be copied, modified or used in any form without consent from the author. All dimensions are to be verified prior to commencement of work.
Colour     Solar       Sessessed as complying with AS2047.       Colour     Solar       Detail       R0.14 to all external walls of A7, A11, B11, B15, B16, C7, D19, D24.	Boundary dimensions and all levels are subject to survey. Use figure dimensions only, do not scale. All discrepancies are to be brought to the attention of the author. All building work shall be in accordance with the BCA & all relevant codes. Allow tolerance for
Medium SA 0.475 nd As per detail – 0.7 (render) R0.14 to all external walls, including wall k. Dark >0.7 (face which adjoin lift: A15, A19, B19, C11, brick) C15, C19.	window and sliding door openings.
Nil to all other units not listed above.           Insulation         Detail           Nil         To internal walls within the unit           board         R1.0         To all party walls between the units/common hallways	
See detail         Carpet/Tiles         R2.0 to A1, A2, A3, B1, B2, B3, D4           See detail         Carpet/Tiles         R1.0 to C1, C2, C3, D1, D2, D3	PROPOSED RESIDENTIAL APARTMENT BUILDING
R2.5 to all ceilings (only applies where there is a metal deck roof above: A20, A21, B24, B25, D31, D33         Nil to all others not listed above.	LOT 7 SECTION E DP:6934,
Insulation         Colour – solar abs.         Detail           R1.0 to A18, B19         R1.0 to A18, B19           See detail         Medium SA 0.475 – 0.7         R2.0 to A20, A21, C19, C26, C27, C28, D24, D32	Date.   Job No.   Sheet No.
See detail Medium SA 0.475 - Reflective foil to A20, A21, B24, B25, D31, D33.	23.06.15         2248_DA         10           Scale.         Drawn by.         Issue.           1 : 100         JM         E
en included to all bathrooms, ensuites, WC, laundries and kitchens. Exhaust fans have been led. rstem - Hot Water System m (No. 1) gas instantaneous Piping insulation (ringmain & supply risers):	A. 1/64 Riverside Road, Chipping Norton NSW 2170
building: R0.45 (~20 mm); <b>/stem - Lift</b> raction with VVVF motor - Number of levels (including basement): 8 raction with VVVF motor - Number of levels (including basement): 11 raction with VVVF motor - Number of levels (including basement): 11	P. 02 9755 1318 F. 02 9755 1316 E. admin@pagano.com.au
ction with VVAC motor - Number of levels (including basement): 11 mitments min) rated shower head, 4 star rated toilets, 5 star rated kitchen taps, 5 star rated bathroom taps	nominated architect Alfredo Pagano 6774 Salvatore Pagano 7003



OPERABLE SLIDING SCREENS	
	W69 CORRECTION CORRECTI CORRECTION CORRECTION CORRECTION CORRECTION CORRECTION CORRECTI
	LIVING 3100
	UNIT D27
W67	KITCHEN
5279 DINING	BED 1
LIVING UNIT D26 RITCHEN	
2 BED UNIT 100.3m <sup>2</sup>	ENS 4000 TZ XX
L:48.50 by L'DRY	ENS ENS BED 2 BED 2 H
4 FIRE STAIRS 4 BED 3 BAT	тн W76
W77 BALCONY	LANDSCAPING
	No.DescriptionDateMROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL05.06.15LDA AMENDMENTS - FOR APPROVAL16.12.14KDRAFT AMENDMENTS04.12.14
issumptions have been used in the thermal and BASIX assessment. Should the following not the reassessment may be required. duct Glass Frame U SHG Area Value C MP Detail Single clear Improved 6.35 0.77 - C11, C15, C19	HCONSULTANT ISSUE23.07.14GDA AMENDMENTS - FOR APPROVAL21.07.14
Single clear     aluminium     0.33     0.77     Certi, Cri, Cri, Cri, Cri, Cri, Cri, Cri, Cr	<b>NOTES.</b> This drawing is protected under copyright. It must not be copied, modified or used in any form without consent from the author. All dimensions are to be verified prior to commencement of work. Boundary dimensions and all levels are subject to survey. Use figure dimensions only, do not scale. All discrepancies are to be brought to the attention of the author. All building work shall be in
er and As per detail Medium SA 0.475 brick. As per detail Object. Note: brick Object of the second	accordance with the BCA & all relevant codes. Allow tolerance for window and sliding door openings.
Insulation         Detail           uds         Nil         To internal walls within the unit           sterboard         R1.0         To all party walls between the units/common hallways           struction         Insulation         Covering         Detail           See detail         Carpet/Tiles         R1.0 to C1, C2, C3, D1, D2, D3 Nil to all others not listed above.	PROPOSED RESIDENTIAL APARTMENT BUILDING
Nil to all others not listed above.         R2.5 to all ceilings (only applies where there is a metal deck roof above: A20, A21, B24, B25, D31, D33         See detail       A21, B24, B25, D31, D33         Nil to all others not listed above.         struction       Insulation         Colour – solar abs.       Detail         R1.0 to A18, B19	LOT 7 SECTION E DP:6934, 184-192 RESTWELL RD PRAIRIEWOOD
See detail     Medium SA 0.475 – 0.7     R2.0 to A20, A21, C19, C26, C27, C28, D24, D32       See detail     Medium SA 0.475 – 0.7     Reflective foil to A20, A21, B24, B25, D31, D33.	Date.         Job No.         Sheet No.           23.06.15         2248_DA         11           Scale.         Drawn by.         Issue.           1 : 100         JM         M
been included to all bathrooms, ensuites, WC, laundries and kitchens. Exhaust fans have been sealed. System - Hot Water System ystem (No. 1) gas instantaneous Piping insulation (ringmain & supply risers): to building: R0.45 (-20 mm); System - Lift ss traction with VVVF motor - Number of levels (including basement): 8 ss traction with VVVF motor - Number of levels (including basement): 11 ss traction with VVVF motor - Number of levels (including basement): 11 st traction with VVVF motor - Number of levels (including basement): 11	A. 1/64 Riverside Road, Chipping Norton NSW 2170 P. 02 9755 1318 F. 02 9755 1316 E. admin@pagano.com.au
ommitments 6L/min) rated shower head, 4 star rated toilets, 5 star rated kitchen taps, 5 star rated bathroom taps	nominated architect Alfredo Pagano 6774 Salvatore Pagano 7003



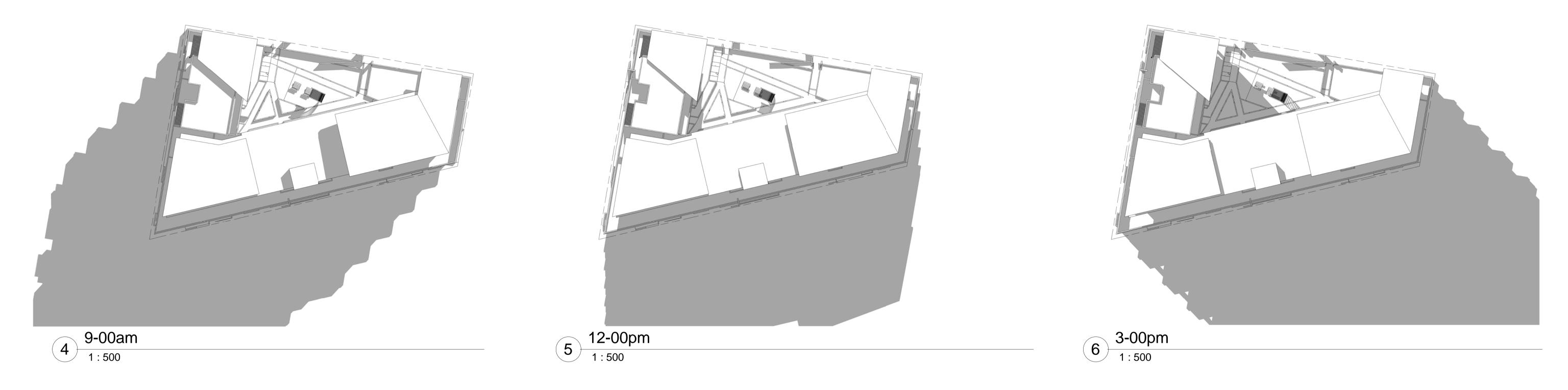


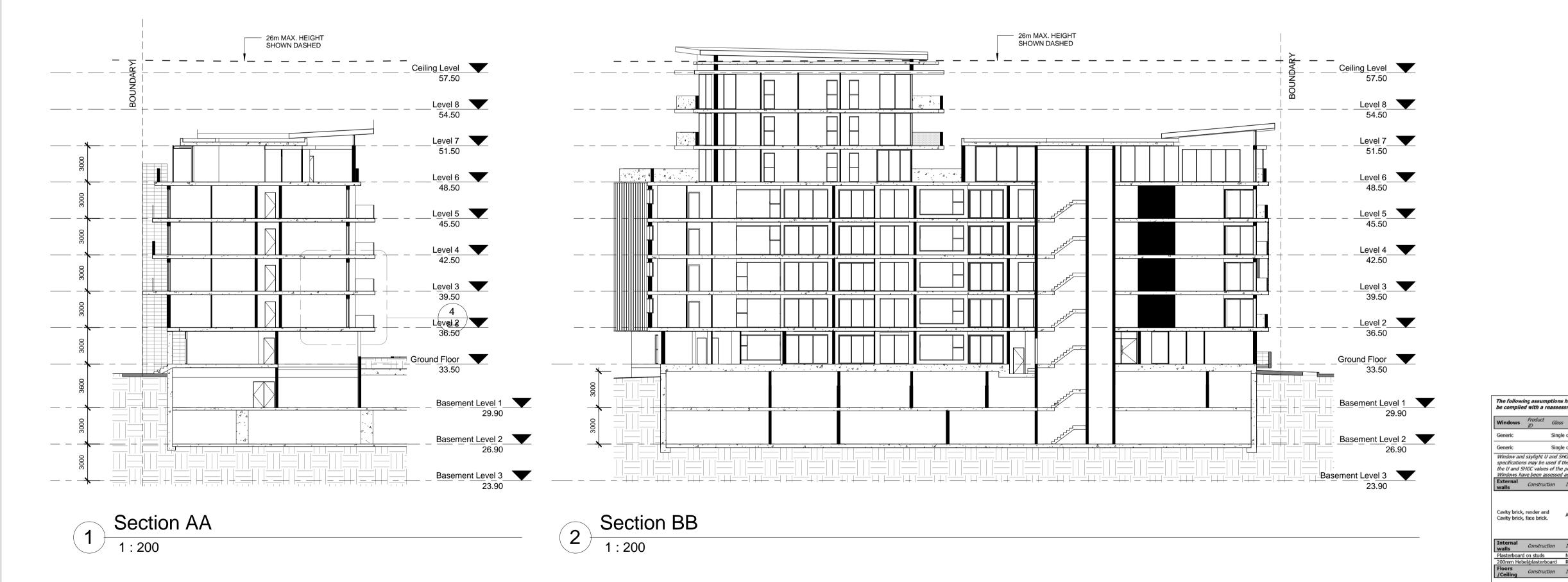
26m MAX. HEIGHT T8 59.2	200
	Ceiling Level 57.50
	Level 8
	Level 7
	Level 6 48.50
	Lev <u>el 5</u> 45.50
	<u>Level 4</u>
	Level 3
	Lev <u>el 2</u> 36.50
	Ground Floor 33.50

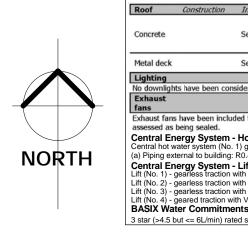
FINIS	HES SCHEDULE
CODE	DESCRIPTION
T1 T2 T3 T4 T5 T6 T7 T8 T9 T10 T11 T12	CEMENT RENDER AND PAINT FINISH FACE BRICK FINISH OFF FORM CONCRETE FINISH FEATURE STONE FINISH ALUMINIUM WINDOWS & DOORS TIMBER FINISH COLORBOND CAPPING METAL ROOFING PAVEMENT COBBLESTONE ALUMINIUM LOUVRES METAL SCREENING
	CODE T1 T2 T3 T4 T5 T6 T7 T8 T9 T10 T11

ent may be red	quired.			-	No.		Description	Dat	е
Frame	U value	SHG C	Area M <sup>e</sup>	Detail	N		GN AND BUILDING NTS - FOR APPROVAL	05.06.15	
Improved	6.35	0.77	-	C11, C15, C19	М	DA AMENDI	MENTS - FOR APPROVAL	. 16.12.14	
aluminium				To all other glazing, not	L	DRAFT AME	NDMENTS	04.12.14	
Standard a	luminium 7.32	0.77	-	listed above.	К	BASIX INFO	RMATION	01.09.14	
				ernate products or	J	DA AMENDI	MENTS - FOR APPROVAL	. 01.08.14	
I value is lowe uct specified a		alue is les	is than i	10% higher or lower, than	I	CONSULTA	NT ISSUE	23.07.14	
mplying with A					Н	DA AMENDI	MENTS - FOR APPROVAL	. 21.07.14	
ilation	Colour – solar abs.	Detail	9						
oer detail	Medium SA 0.475 – 0.7 (render) Dark >0.7 (face brick)	B11, E R0.14 which C15, C	to all ex adjoin li 219.	ternal walls of A7, A11, , C7, D19, D24. ternal walls, including wall ft: A15, A19, B19, C11,	modified dimensio Boundar figure di	l or used in a ons are to be y dimensions mensions on	cted under copyright. It r ny form without consent verified prior to commer s and all levels are subje ly, do not scale. All discr	from the author neement of work ct to survey. Us epancies are to	r. A k. se be
ulation	Detail	NII to	all other	units not listed above.	accorda	nce with the l	on of the author. All build BCA & all relevant codes	0	
	To internal walls	within the	unit		window	and sliding d	oor openings.		
0				s/common hallways					
sulation	Covering	Det	tail		FIF		ONS & SE	CTION	Ś
e detail	Carpet/Tiles	R1. Nil	0 to C1, to all ot	A2, A3, B1, B2, B3, D4 C2, C3, D1, D2, D3 ners not listed above.		,		011011	
e detail	Colour – solar ab	the A21 Nil 1	re is a m , B24, B to all oth	eilings (only applies where etal deck roof above: A20, 25, D31, D33 ers not listed above.			D RESIDENT		
e detail	Medium SA 0.475 0.7	– R1. R2.	0 to A18	, A21, C19, C26, C27,			ON E DP:6934		
e detail	Medium SA 0.475 0.7		lective for the formation of the formati	bil to A20, A21, B24, B25,	184-1	92 RES	TWELL RD PR	AIRIEWO	Ű
ed as part of thi	e assessment				Date.		Job No.	Sheet No.	
a as part of the	s assessment.					23.06.15	2248_DA		1
,		ndries an	d kitche	ns. Exhaust fans have been	Scale.	1 : 200	Drawn by. JM	Issue.	N
: <b>Water Syster</b> gas instantanec ).45 (~20 mm);	<b>n</b> ous Piping insulati	on (ringm	iain & si	ipply risers):	<b>A.</b> 1/64 I	Riverside Roa g Norton NSV		21	ſ
h VVVF motor - h VVVF motor - h VVVF motor -	Number of levels Number of levels Number of levels lumber of levels (	(including	g basem g basem	ent): 11 ent): 11	<b>P.</b> 02 97 <b>F.</b> 02 97 <b>E.</b> admir		om.au paqa	no architi	20

# Shadow Diagrams (Mid Winter 21st June)







200mm concrete

Plasterboard

FINIS	HES SCHEDULE
CODE	DESCRIPTION
T1 T2 T3 T4 T5 T6 T7 T8 T9 T10 T11 T12	CEMENT RENDER AND PAINT FINISH FACE BRICK FINISH OFF FORM CONCRETE FINISH FEATURE STONE FINISH ALUMINIUM WINDOWS & DOORS TIMBER FINISH COLORBOND CAPPING METAL ROOFING PAVEMENT COBBLESTONE ALUMINIUM LOUVRES METAL SCREENING

					No.	] ]	Description	Da	ate
					М		GN AND BUILDING ITS - FOR APPROVAL	05.06.15	
					L	DA AMENDM	IENTS - FOR APPROVAI	L 16.12.14	
					К	DRAFT AME	NDMENTS	04.12.14	
					J	BASIX INFO		01.09.14	
one have been year	lin the thermal and	BACTV	eeeee	ment. Should the following not	1	DA AMENDA	IENTS - FOR APPROVAL	L 01.08.14	
ons have been used sessment may be r		BASIX a	ssess.	ment. Should the following hot	H	CONSULTAN		23.07.14	
		0112			G		MENTS - FOR APPROVAL		
ilass Frame	U value	SHG , C	Area M <sup>2</sup>	Detail					
ngle clear Improver aluminiu		0.77	-	C11, C15, C19	NOTES.				
	1 aluminium 7.32	0.77	×	To all other glazing, not listed above.	This draw		cted under copyright. It i		
	cified, are according to			rnate products or			ny form without consent		
the product specified	above.	ue is less t	uian 10	0% higher or lower, than			verified prior to comme		
sed as complying with	h AS2047.						and all levels are subje	,	
Insulation	Colour – solar abs.	Detail					y, do not scale. All discr on of the author. All build		
				ternal walls of A7, A11, C7, D19, D24.	accordan	ice with the E	3CA & all relevant code	0	
	Medium SA 0.475				window a	nd sliding do	oor openings.		
As per detail	– 0.7 (render) Dark >0.7 (face			ternal walls, including wall t: A15, A19, B19, C11,		· · ·			
	brick)	C15, C19							
		Nil to all	other	units not listed above.	1 SHA	VUUV	/ DIAGRAI	VID &	
Insulation	Detail	Nin to all	Juler		_	TION			
Nil	To internal walls wi	thin the ur	nit		SEC		S S		
d R1.0	To all party walls be			/common hallways					
Insulation	Covering	Detail					RESIDENT	ΙΔΙ	
Sea datall	Care at /Tiles			A2, A3, B1, B2, B3, C4	-		-		
See detail	Carpet/Tiles			C2, C3, D1, D2, D3 ers not listed above.	APAF	< I MEN	IT BUILDING	i	
		R2.5 t	to all ce	eilings (only applies where					
See detail				etal deck roof above: A20, 25, D31, D33	10-	0-0-			
				ers not listed above.	LO [ 7	SECTI	ON E DP:6934	,	
Insulation	Colour – səlar abs.	Detail	1		184-1	92 RFS	TWELL RD PR	AIRIEW/	ООГ
		R1.0 t	to A18,	B19					
See detail	Medium SA 0.475 - 0.7		to A20.	, A21, C19, C26, C27	Deta			Object	
		C28, E	D24, D	32	Date.		Job No.	Sheet No.	
See detail	Medium SA 0.475 - 0.7	<ul> <li>Reflect</li> <li>D31, I</li> </ul>		il to A20, A21, B24, B25,	2	3.06.15	2248_DA		14
opeidered	his press				Scale.		Drawn by.	Issue.	
onsidered as part of t	unis assessment.					dicated	JM	Į	Μ
		Like	-14 - 1	- Education in the					1 V I
uded to all bathroom	ns, ensuites, WC, laune	dries and k	kitchen	s. Exhaust fans have been	<b>A.</b> 1/64 R	Riverside Roa	id,	1	0
n - Hot Water Sys	tem					Norton NSW		1	
	ous Piping insulation (r	ingmain &	supply	risers):					
					P. 02 975	55 1318			
ng: R0.45 (~20 mm); n - Lift									
ng: R0.45 (~20 mm); <b>n - Lift</b> n with VVVF motor - I	Number of levels (inclu Number of levels (inclu				<b>F.</b> 02 975				
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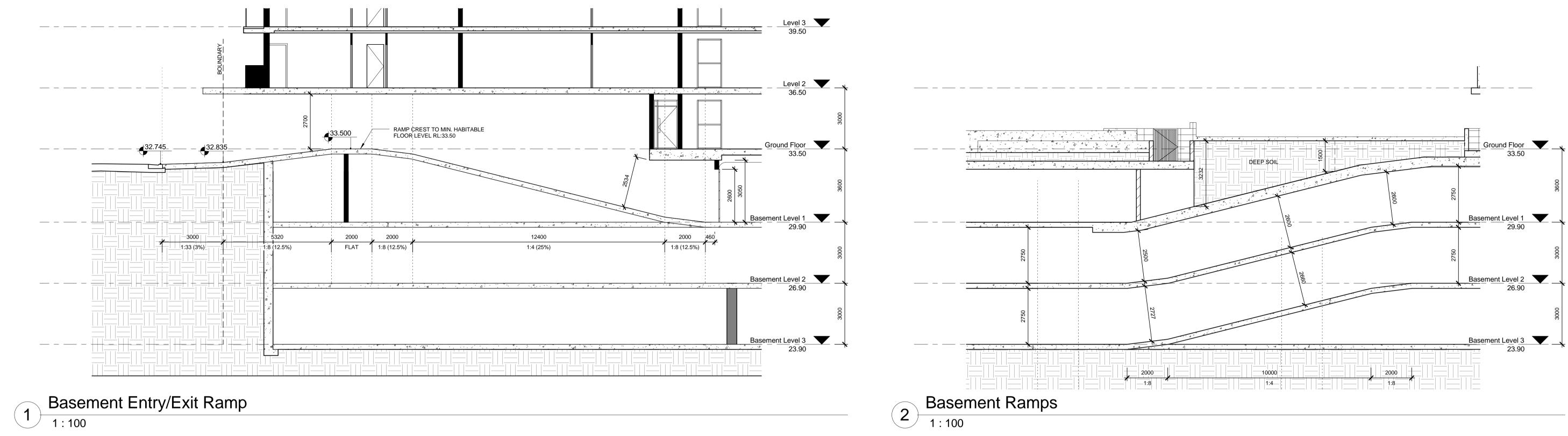




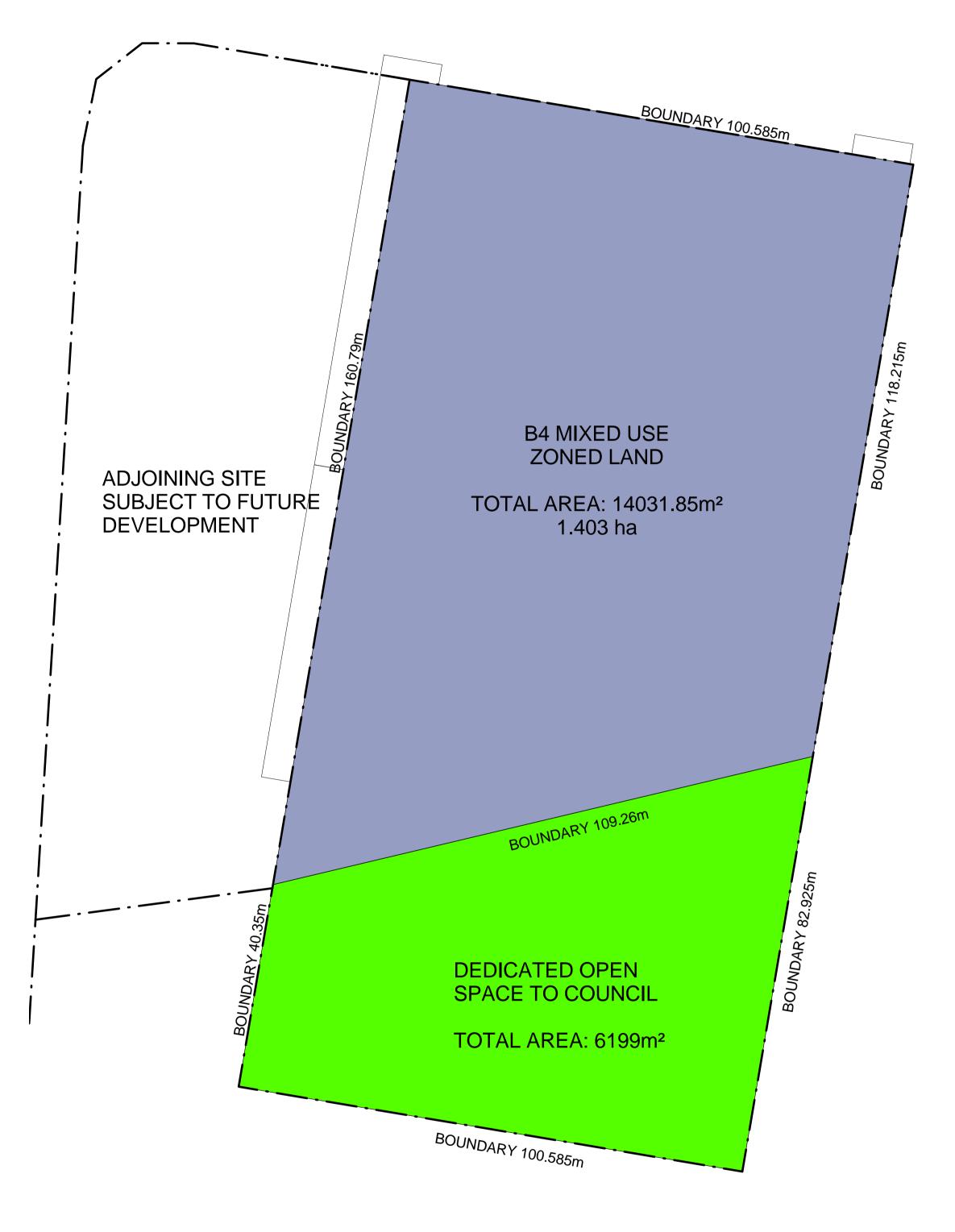
Landscape Area - Level 6 1:200 @A3



		28000000			
ballast roof		landscapin	· · · · · · · · · · · ·		1200 Judessour
PROVIDE MIN. 1100mm HIGH SOLID BALUSTRADE		C B	ROAD DESIGN AMENDMENTS		
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ED M REQUIREMENT	12.0% 10%				CULATION
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С		GN AND BUILDING ITS - FOR APPROVAL	05.06.1	15
В	DA AMEND	MENTS - FOR APPROVAL	. 16.12.1	14
4	DRAFT AME	NDMENTS	04.12.1	14
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PRO APAI LOT 7 184-1 Date. 2 Scale. A. 1/64 F Chipping P. 02 97 F. 02 97	POSEI RTMEN 7 SECTI 92 RES 23.06.15 1 : 100 Riverside Roa 9 Norton NSV 55 1318	D RESIDENT IT BUILDING ON E DP:6934 TWELL RD PR Job No. 2248_DA Drawn by. JM	, AIRIEV Sheet No.	SI-3 D







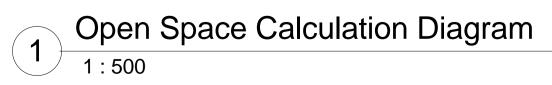


PROPOSED ROAD ON B4 MIXED USE ZONE DEDICATED ROADS TO COUNCIL

TOTAL AREA: 5646.3m<sup>2</sup>

No.		Descript	ion		Date
C	ROAD DESI	GN AND BUIL	DING	05	5.06.15
В		MENTS - FOR	-	_ 16	6.12.14
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PRO APAF LOT 7 184-1 Date.	POSEE RTMEN 7 SECTI 92 RES	D RESII IT BUIL ON E DI TWELL Job No.	DENT DING 2:6934 RD PR	IAL , AIRI	EWOOD No.
PRO APAF LOT 7 184-1 Date. 2	POSEE RTMEN 7 SECTI	D RESII IT BUIL ON E DI TWELL Job No. 22	DENT DING 2:6934	IAL , AIRI	EWOOD
PRO APAF LOT 7 184-1 Date. 2 Scale.	POSEE RTMEN 7 SECTI 92 RES	D RESII IT BUIL ON E DI TWELL Job No.	DENT DING 2:6934 RD PR	IAL , AIRI	EWOOD No.
PRO APAF LOT 7 184-1 Date. 2 Scale. A. 1/64 F Chipping P. 02 975	POSEE RTMEN SECTI 92 RES 23.06.15 1 : 600 Riverside Roa Norton NSV 55 1318	D RESII IT BUIL ON E DI TWELL Job No. 22 Drawn by.	DENT DING P:6934 RD PR 248_DA	IAL , AIRI	EWOOD No.
PRO APAF LOT 7 184-1 Date. 2 Scale. A. 1/64 F Chipping P. 02 975 F. 02 975	POSEE RTMEN SECTI 92 RES 23.06.15 1 : 600 Riverside Roa Norton NSV 55 1318	D RESII IT BUIL ON E DI TWELL Job No. 22 Drawn by.	DENT DING P:6934 RD PR 248_DA JM	IAL , AIRI Sheet Issue.	EWOOD No.







No.	Description	Date
В	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
Ą	DA AMENDMENTS - FOR APPROVAL	16.12.14
NOTES.		

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SITE AREA CALCULATIONS

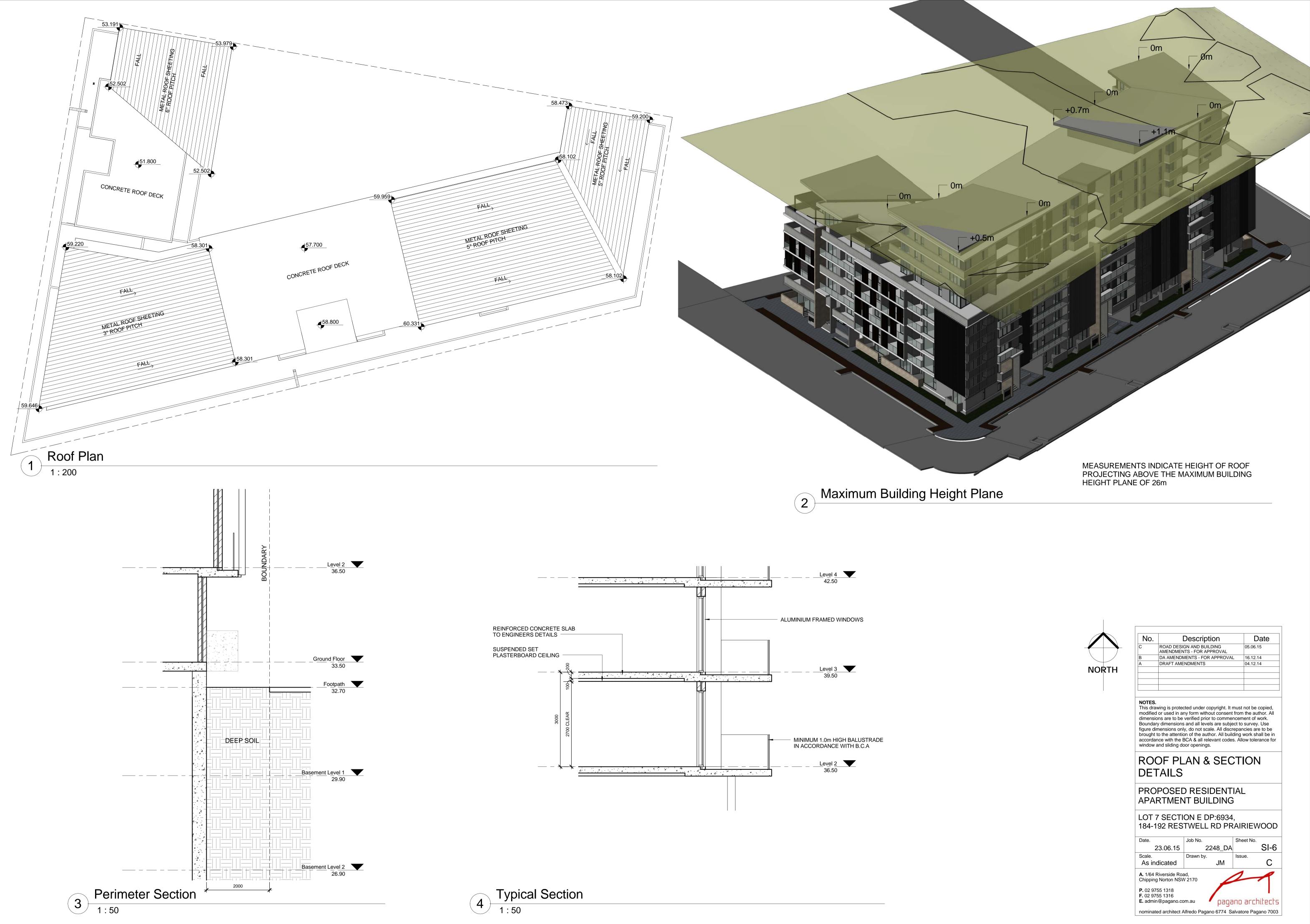
PROPOSED RESIDENTIAL APARTMENT BUILDING

LOT 7 SECTION E DP:6934, 184-192 RESTWELL RD PRAIRIEWOOD

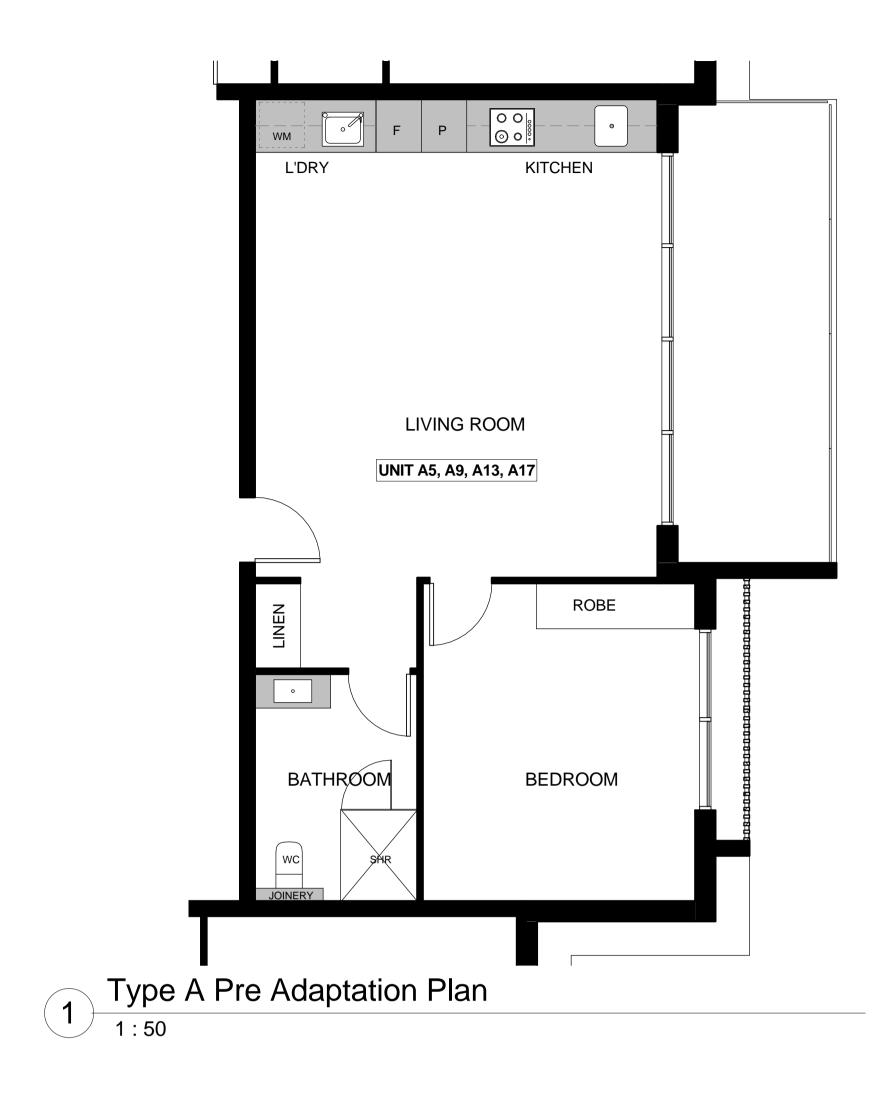


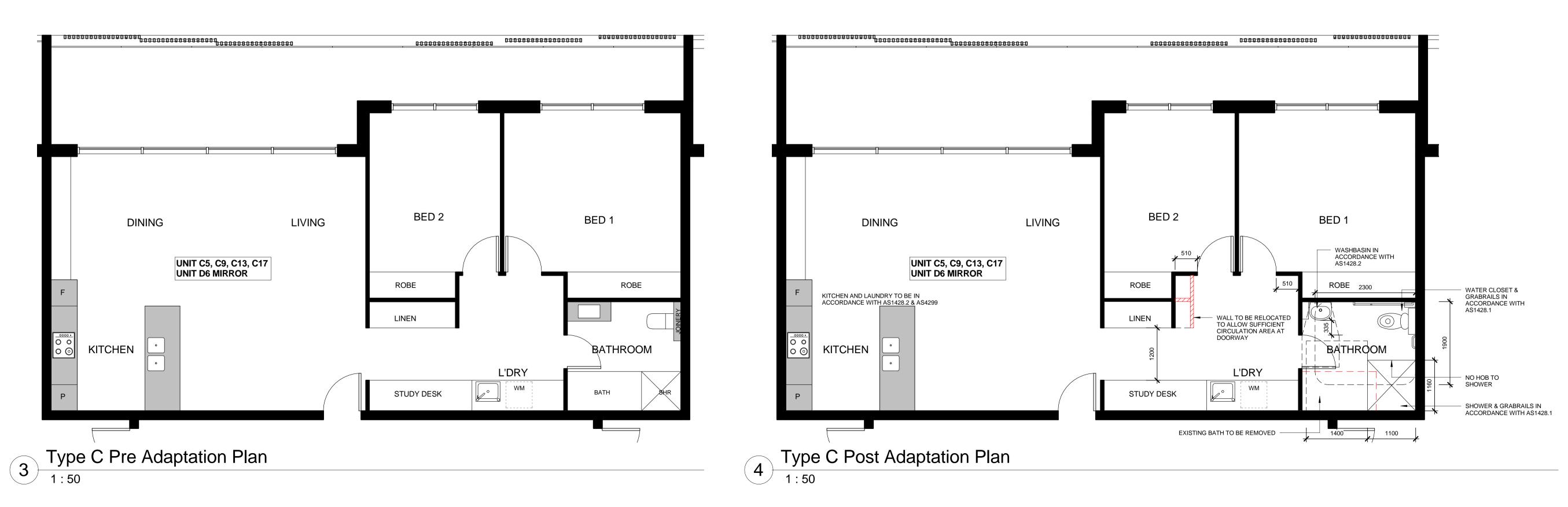
nominated architect Alfredo Pagano 6774 Salvatore Pagano 7003

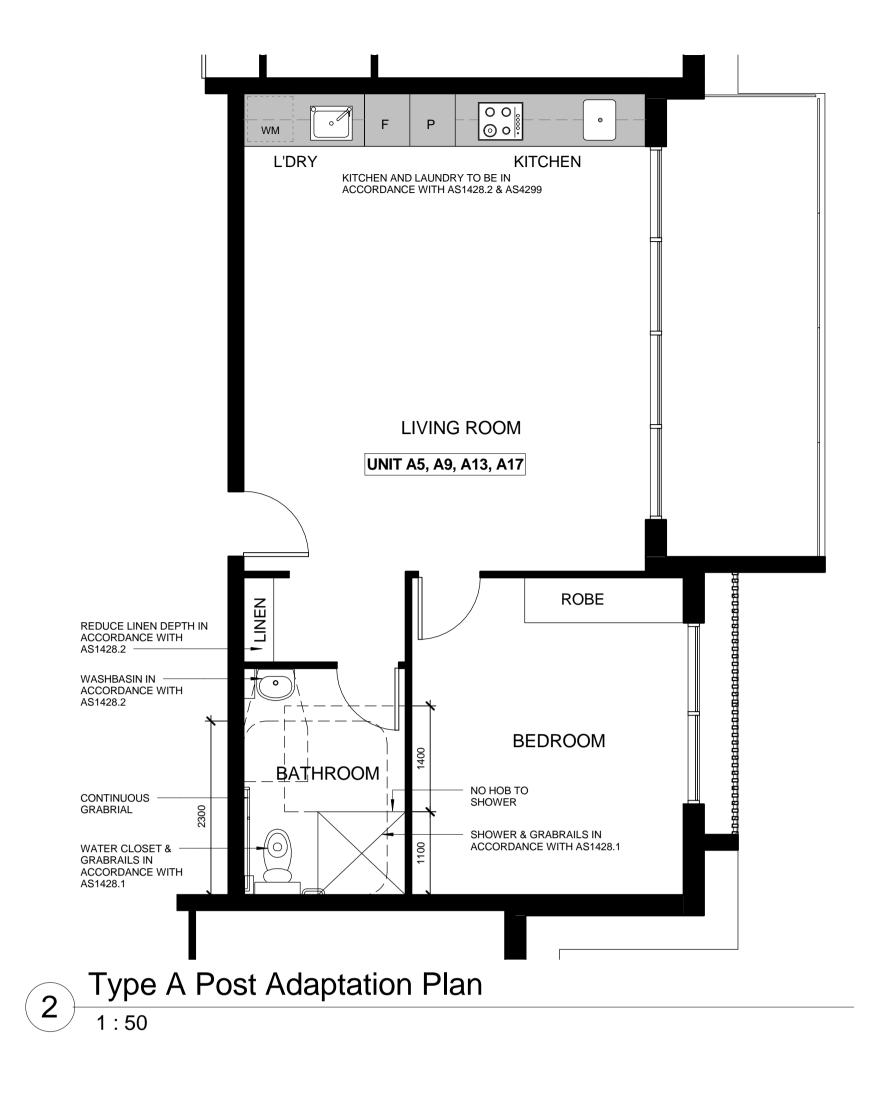
pagano architects



No.		Descriptic	on		Date
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DET PRO APA LOT 7 184-1 Date. Z	TAILS POSEE RTMEN 7 SECTI 92 RES	D RESID IT BUILI ON E DP TWELL R Job No.	DENT DING 2:6934 RD PR	IAL , AIRIE	WOOD
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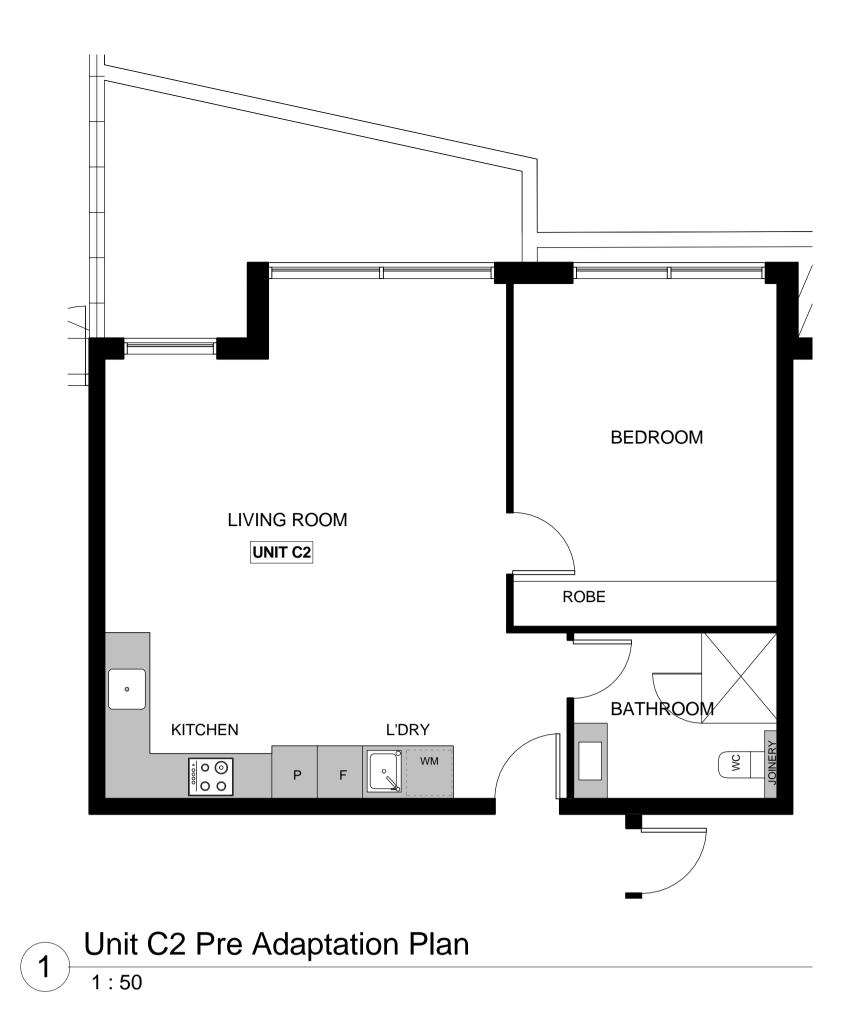


C       ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL       05.06.15         B       DA AMENDMENTS - FOR APPROVAL       16.12.14         A       DRAFT AMENDMENTS       04.12.14         A       DRAFT AMENDMENTS       04.12.14         NOTES.       This drawing is protected under copyright. It must not be copied, modified or used in any form without consent from the author. All dimensions are to be verified prior to commencement of work. Boundary dimensions and all levels are subject to survey. Use figure dimensions only, do not scale. All discrepancies are to be brought to the attention of the author. All building work shall be in accordance with the BCA & all relevant codes. Allow tolerance for window and sliding door openings.         ADAPTABLE UNIT DETAILS         PROPOSED RESIDENTIAL APARTMENT BUILDING         LOT 7 SECTION E DP:6934, 184-192 RESTWELL RD PRAIRIEWOODD         Date.       Job No.         23.06.15       2248_DA         Sheet No.       SI-7         Scale.       Drawn by.         1 : 50       JM         C       A. 1/64 Riverside Road, Chipping Norton NSW 2170         P. 02 9755 1318       F. 02 9755 1318         F. 02 9755 1318       F. 02 9755 1316         E. admin@pagano.com.au       nominated architect Alfredo Pagano 6774	110.	•	Socompan			Duio
A       DRAFT AMENDMENTS       04.12.14         Image: Constraint of the stress o	С				05.	06.15
NOTES.         This drawing is protected under copyright. It must not be copied, modified or used in any form without consent from the author. All dimensions are to be verified prior to commencement of work. Boundary dimensions and all levels are subject to survey. Use figure dimensions only, do not scale. All discrepancies are to be brought to the attention of the author. All building work shall be in accordance with the BCA & all relevant codes. Allow tolerance for window and sliding door openings.         ADAPTABLE UNIT DETAILS         PROPOSED RESIDENTIAL APARTMENT BUILDING         LOT 7 SECTION E DP:6934, 184-192 RESTWELL RD PRAIRIEWOODD         Date.       Job No.         23.06.15       2248_DA         Sheet No.         23.06.15       Drawn by.         I : 50       JM         C         A. 1/64 Riverside Road, Chipping Norton NSW 2170         P. 02 9755 1318         F. 02 9755 1316         E. admin@pagano.com.au	В		MENTS - FOR A	PPROVAL	_ 16.	12.14
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This drawing is protected under copyright. It must not be copied, modified or used in any form without consent from the author. All dimensions are to be verified prior to commencement of work. Boundary dimensions and all levels are subject to survey. Use figure dimensions only, do not scale. All discrepancies are to be brought to the attention of the author. All building work shall be in accordance with the BCA & all relevant codes. Allow tolerance for window and sliding door openings. ADAPTABLE UNIT DETAILS PROPOSED RESIDENTIAL APARTMENT BUILDING LOT 7 SECTION E DP:6934, 184-192 RESTWELL RD PRAIRIEWOOD Date. 23.06.15 2248_DA Sheet No. 23.06.15 Scale. 1 : 50 JM C A. 1/64 Riverside Road, Chipping Norton NSW 2170 P. 02 9755 1318 F. 02 9755 1318 F. 02 9755 1318 E. admin@pagano.com.au						
This drawing is protected under copyright. It must not be copied, modified or used in any form without consent from the author. All dimensions are to be verified prior to commencement of work. Boundary dimensions and all levels are subject to survey. Use figure dimensions only, do not scale. All discrepancies are to be brought to the attention of the author. All building work shall be in accordance with the BCA & all relevant codes. Allow tolerance for window and sliding door openings. ADAPTABLE UNIT DETAILS PROPOSED RESIDENTIAL APARTMENT BUILDING LOT 7 SECTION E DP:6934, 184-192 RESTWELL RD PRAIRIEWOOD Date. 23.06.15 2248_DA Sheet No. 23.06.15 Scale. 1:50 JM C A. 1/64 Riverside Road, Chipping Norton NSW 2170 P. 02 9755 1318 F. 02 9755 1318 F. 02 9755 1318 E. admin@pagano.com.au						
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E. admin@pagano.com.au pagano architects	PRO APAI LOT 7 184-1 <sup>Date.</sup>	POSEE RTMEN 7 SECTI 92 RES 23.06.15	D RESIE IT BUIL ON E DF TWELL F Job No. 22	DENT DING 2:6934 RD PR 48_DA	IAL , AIRIE Sheet N	EWOOD
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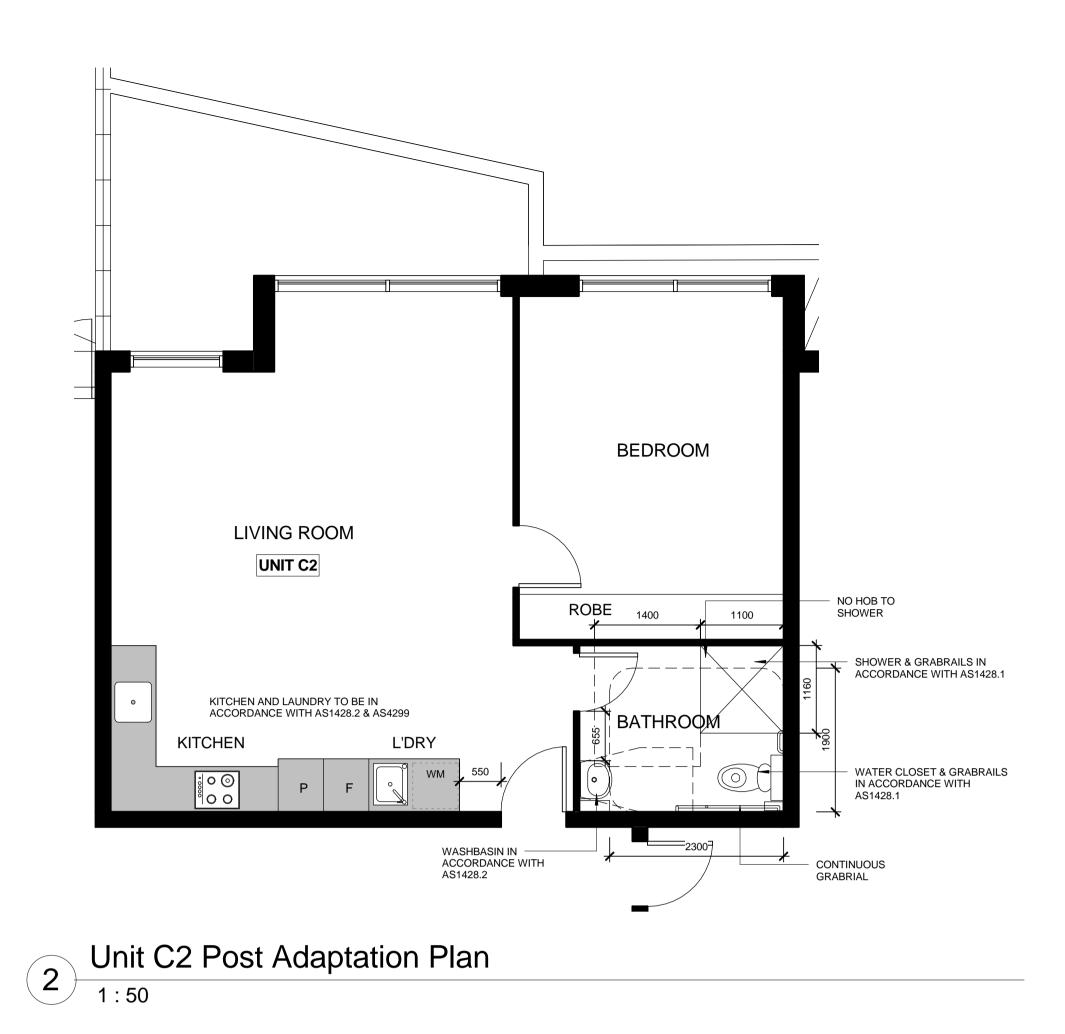
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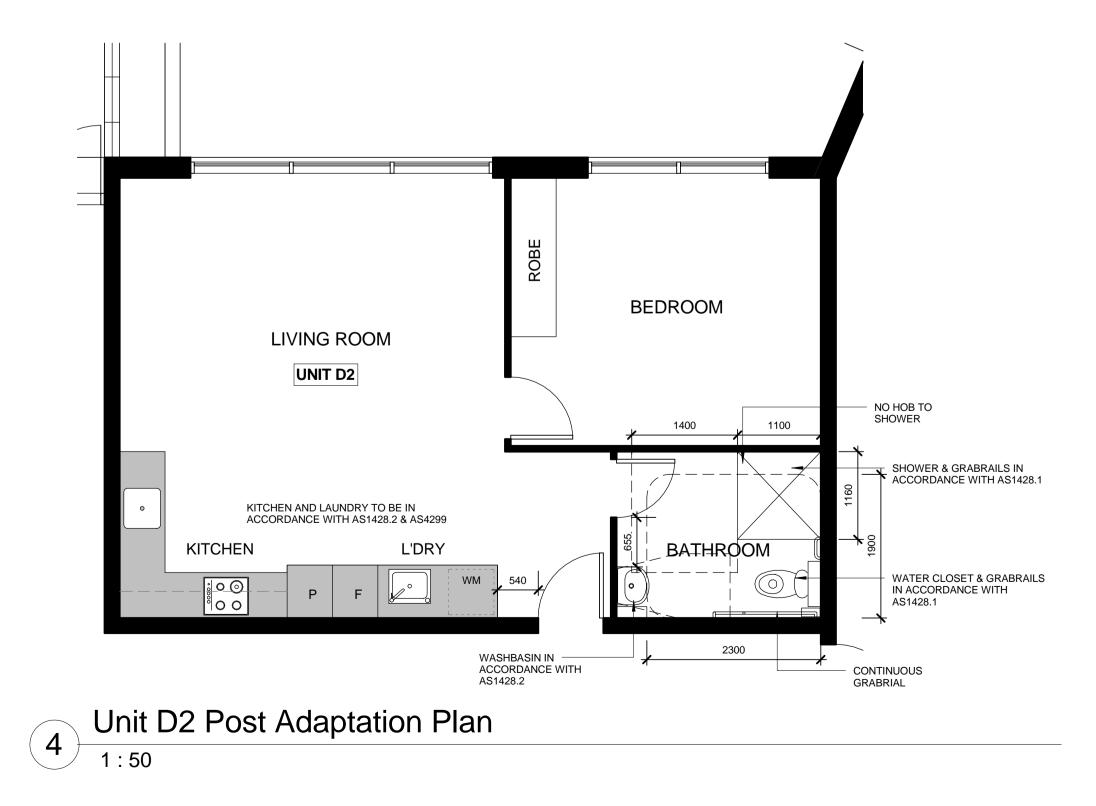
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No.	[	Description	Date
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