



**REFER TO PROPOSED SUBDIVISION
PLAN SHEET 02.1 FOR LOT & ROAD
RESERVE CONFIGURATION RELATING
TO THIS DEVELOPMENT APPLICATION**

**FINAL STAGE ROAD NETWORK
PLAN INDICATED. REFER TO STAGE
1 ROAD DESIGN PLAN - SHEET 04
FOR TEMPORARY ROAD ACCESS
PLAN.**

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SITE & CONTEXT PLAN

PROPOSED RESIDENTIAL
APARTMENT BUILDING

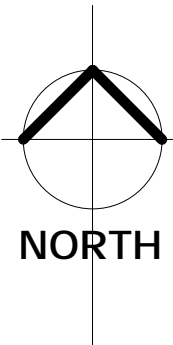
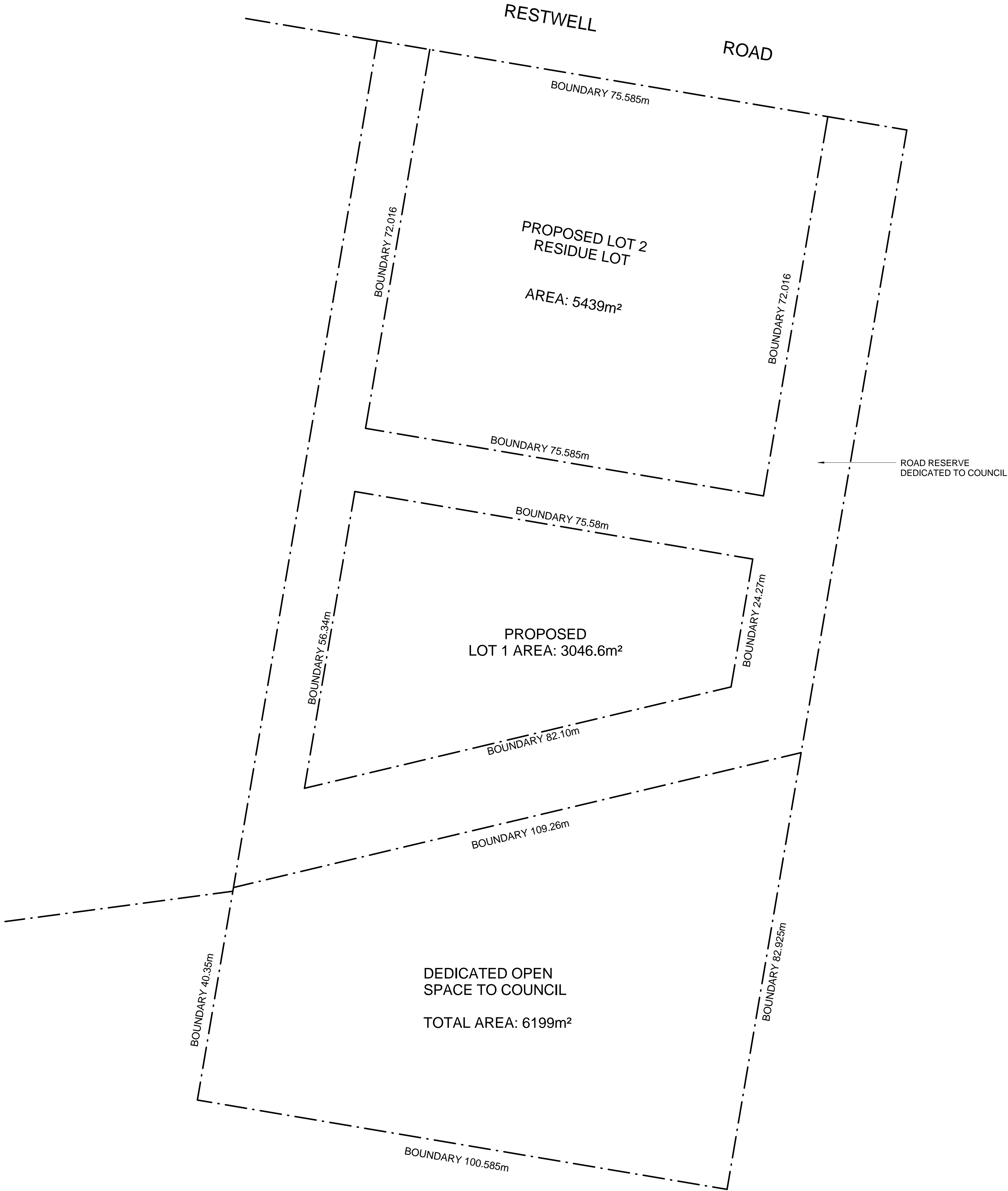
LOT 7 SECTION E DP:6934,
184-192 RESTWELL RD PRAIRIEWOOD

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The logo for pagano architects features a stylized red graphic element resembling a thick, expressive brushstroke or a calligraphic letter 'P' that curves upwards and to the right. Below this graphic, the words 'pagano architects' are written in a lowercase, sans-serif font. 'pagano' is in a reddish-pink color, and 'architects' is in a dark grey or black color.

nominated architect Alfredo Pagano 6774 Salvatore Pagano 7003



No.	Description	Date
B	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
A	DA AMENDMENTS - FOR APPROVAL	16.12.14

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PROPOSED SUBDIVISION PLAN


PROPOSED RESIDENTIAL APARTMENT BUILDING

LOT 7 SECTION E DP:6934, 184-192 RESTWELL RD PRAIRIEWOOD

Date.	Job No.	Sheet No.
23.06.15	2248_DA	02.1
Scale.	Drawn by.	Issue.
1 : 400	JM	B

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No.	Description	Date
M	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
L	DA AMENDMENTS - FOR APPROVAL	16.12.14
K	DRAFT AMENDMENTS	04.12.14
J	BASIX INFORMATION	01.09.14
I	DA AMENDMENTS - FOR APPROVAL	01.08.14
H	CONSULTANT ISSUE	23.07.14
G	DA AMENDMENTS - FOR APPROVAL	21.07.14

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PROPOSED RESIDENTIAL
APARTMENT BUILDING

LOT 7 SECTION E DP:6934,
184-192 RESTWELL RD PRAIRIEWOOD

Date.	Job No.	Sheet No.
23.06.15	2248_DA	03
Scale.	Drawn by.	Issue.
As indicated	JM	M

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STAGE 1 ROAD DESIGN PLAN
INDICATED. REFER TO FINAL ROAD
NETWORK PLAN - SHEET 02 FOR
ROAD CONFIGURATION ON
COMPLETION OF MAIN COLLECTOR
ROAD

No.	Description	Date
C	UPDATED ROAD LEVELS	23.06.15
B	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
A	DA AMENDMENTS - FOR APPROVAL	16.12.14

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ROAD DESIGN DETAILS

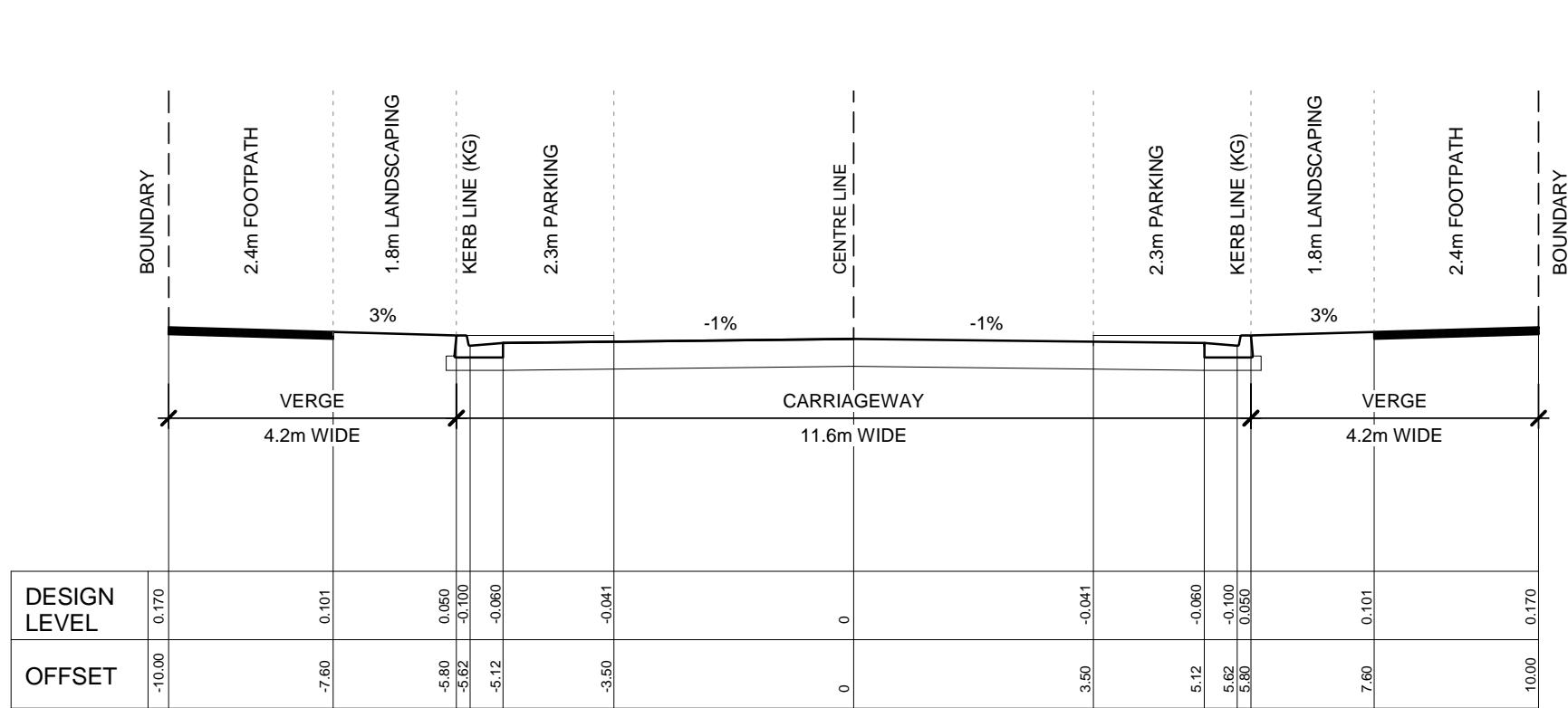
PROPOSED RESIDENTIAL
APARTMENT BUILDING

LOT 7 SECTION E DP:6934,
184-192 RESTWELL RD PRAIRIEWOOD

Date.	Job No.	Sheet No.
23.06.15	2248_DA	04.1
Scale.	Drawn by.	Issue.
1 : 400	JM	C

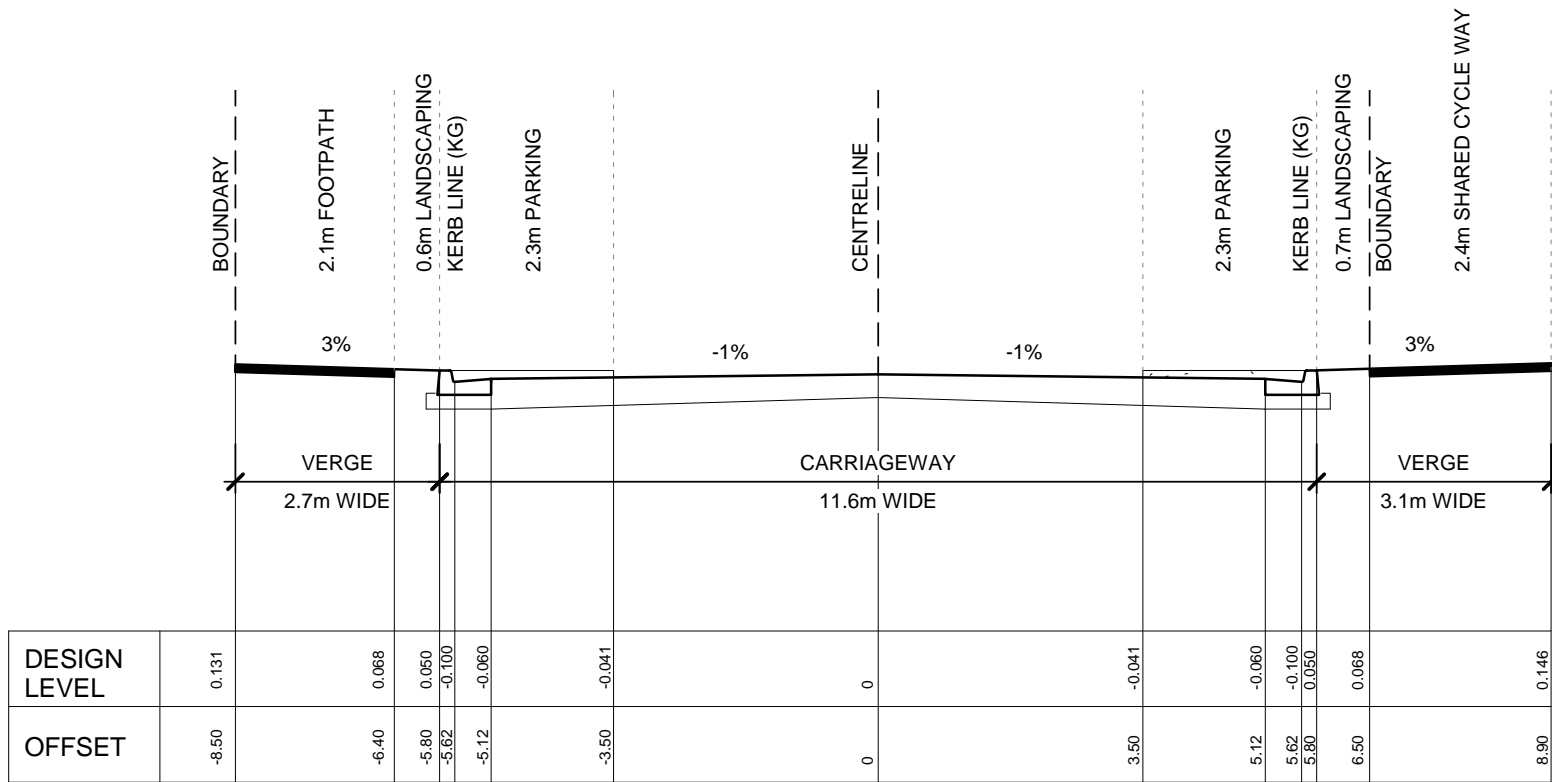
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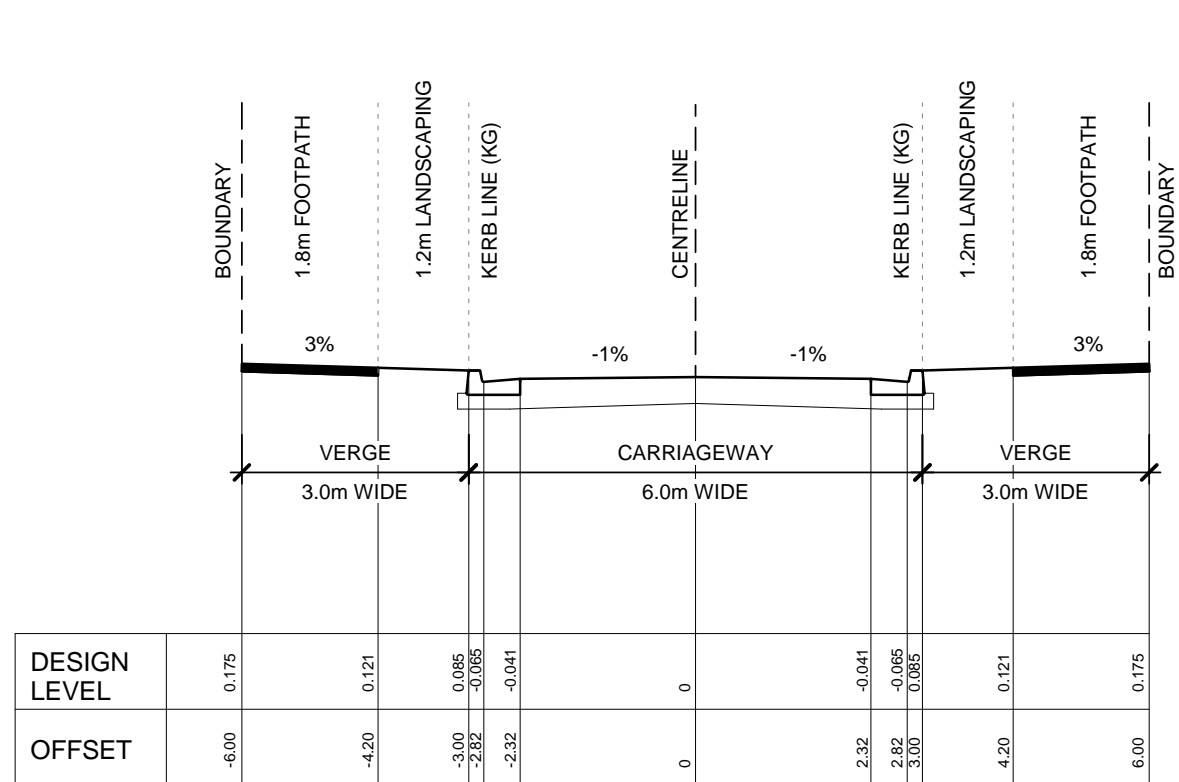
Cross Section - Collector Road

1 : 100
AS PER PRAIRIEWOOD TOWN CENTRE SOUTHERN PRECINCT DCP
FIGURE 3



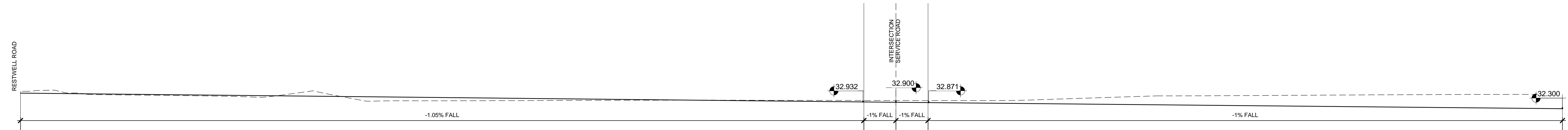
Cross Section - Edge Road

1 : 100
15m ROAD RESERVE AS PER PRAIRIEWOOD TOWN CENTRE SOUTHERN PRECINCT DCP
FIGURE 5. INCREASED TRAVEL LANES AS PER COUNCIL LETTER DATES 12 FEBRUARY 2013



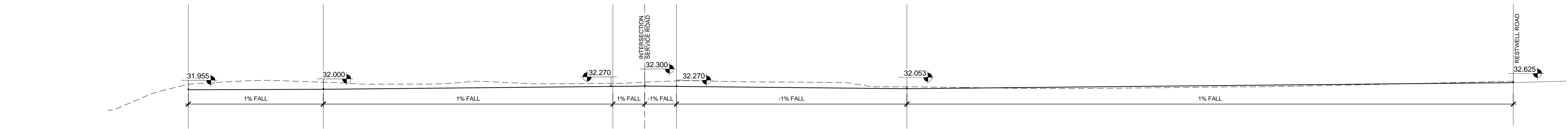
Cross Section - Service Lane

1 : 100
AS PER PRAIRIEWOOD TOWN CENTRE SOUTHERN PRECINCT DCP
FIGURE 6



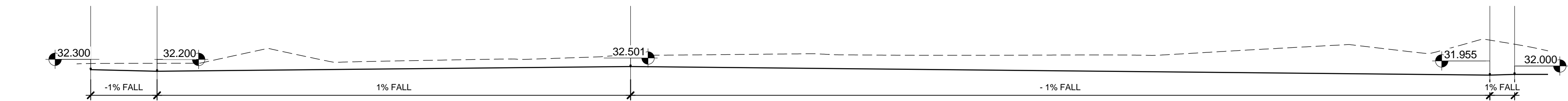
Longitudinal Section - North South Collector Road

1 : 200



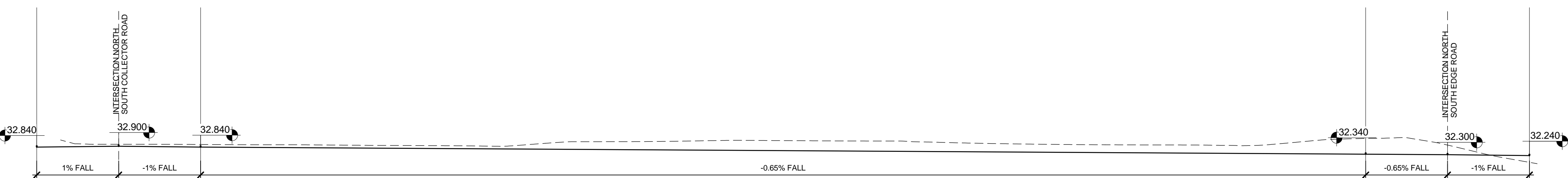
Longitudinal Section - North South Edge Road

1 : 200



Longitudinal Section - East West Edge Road

1 : 200



Longitudinal Section - Service Lane

1 : 200

No.	Description	Date
B	UPDATED ROAD LEVELS	23.06.15
A	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15

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ROAD SECTIONS

PROPOSED RESIDENTIAL APARTMENT BUILDING

LOT 7 SECTION E DP:6934,
184-192 RESTWELL RD PRAIRIEWOOD

Date.	Job No.	Sheet No.
23.06.15	2248_DA	04.2
Scale.	Drawn by.	Issue.
	JM	B

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1

Basement Level 1

1 : 100

No.	Description	Date
P	AMENDED RAMP GRADIENT	17.06.15
O	DELETE COMMERCIAL TENANCY	09.06.15
N	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
M	DA AMENDMENTS - FOR APPROVAL	16.12.14
L	DRAFT AMENDMENTS	04.12.14
K	BASIX INFORMATION	01.09.14
J	DA AMENDMENTS - FOR APPROVAL	01.08.14

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BASEMENT LEVEL 1

PROPOSED RESIDENTIAL APARTMENT BUILDING

LOT 7 SECTION E DP:6934,
184-192 RESTWELL RD PRAIRIEWOOD

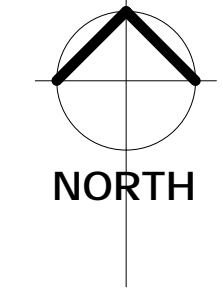
Date.	23.06.15	Job No.	2248_DA	Sheet No.	05
Scale.	1 : 100	Drawn by.	JM	Issue.	P

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1 Basement Level 2
1 : 100



No.	Description	Date
O	DELETE COMMERCIAL TENANCY	09.06.15
N	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
M	DA AMENDMENTS - FOR APPROVAL	16.12.14
L	DRAFT AMENDMENTS	04.12.14
K	BASIX INFORMATION	01.09.14
J	DA AMENDMENTS - FOR APPROVAL	01.08.14
I	CONSULTANT ISSUE	23.07.14

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BASEMENT LEVEL 2

PROPOSED RESIDENTIAL APARTMENT BUILDING

LOT 7 SECTION E DP:6934, 184-192 RESTWELL RD PRAIRIEWOOD

Date.	Job No.	Sheet No.
23.06.15	2248_DA	06
Scale.	Drawn by.	Issue.
1 : 100	JM	O

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No.	Description	Date
I	DELETE COMMERCIAL TENANCY	09.06.15
H	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
G	DA AMENDMENTS - FOR APPROVAL	16.12.14
F	DRAFT AMENDMENTS	04.12.14
E	BASIX INFORMATION	01.09.14
D	DA AMENDMENTS - FOR APPROVAL	01.08.14
C	CONSULTANT ISSUE	23.07.14

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BASEMENT LEVEL 3

PROPOSED RESIDENTIAL APARTMENT BUILDING

LOT 7 SECTION E DP:6934, 184-192 RESTWELL RD PRAIRIEWOOD

Date.	Job No.	Sheet No.
23.06.15	2248_DA	07
Scale.	Drawn by.	Issue.
1 : 100	JM	I

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1 Ground Floor
1 : 100

ADAPTABLE UNITS SUMMARY	
A5, A9, A13, A17 C2, C5, C9, C13, C17 D2, D6	
TOTAL ADAPTABLE UNITS:	11
TOTAL PERCENTAGE:	10.2%

TOTAL DEVELOPMENT UNIT SUMMARY	
STUDIO	4
1 BEDROOM	25
2 BEDROOM	43
3 BEDROOM	34
TOTAL UNITS PROPOSED:	106

No.	Description	Date
S	UPDATED PLANS	15.07.15
R	AMENDED OPEN SPACE	14.07.15
Q	AMENDED FLOOR LEVELS	08.07.15
P	AMENDED RAMP GRADIENT	17.06.15
O	DELETE COMMERCIAL TENANCY	09.06.15
N	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
M	DA AMENDMENTS - FOR APPROVAL	16.12.14

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GROUND FLOOR PLAN

PROPOSED RESIDENTIAL APARTMENT BUILDING

LOT 7 SECTION E DP:6934,
184-192 RESTWELL RD PRAIRIEWOOD

Date.	15.07.15	Job No.	2248_DA	Sheet No.	08
Scale.	1 : 100	Drawn by.	JM	Issue.	S

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The following assumptions have been used in the thermal and BASIX assessment. Should the following not be complied with a reassessment may be required.

Windows	Product	Glass	Frame	U value	SHGC	Area	Detail									
Generic	Single clear	Improved aluminium		6.35	0.77	-	C11, C15, C19									
Generic	Single clear	Standard aluminium		7.32	0.77	-	To all other glazing, not listed above.									
Window and skylight U and SHGC values, if specified, are according to NFRC 1000. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above. Windows have been assessed as complying with AS2047.																
External walls	Construction	Insulation	Colour	solar abs.	Detail											
Cavity brick, render and Cavity brick, face brick.	As per detail	Medium SA 0.475 - 0.7 (render) As per detail (face brick)	Dark - 0.7 (face brick)	Nil	R0.14 to all external walls of R0, A11, B11, B15, B17, C7, D15, D24.	Nil to all other units not listed above.										
Internal walls	Construction	Insulation	Detail													
Plasterboard on studs	Nil	To internal walls within the unit														
200mm Hebel/plasterboard	R1.0	To all party walls between the units/common hallways														
Floors / Ceiling	Construction	Insulation	Covering													
200mm concrete	See detail	Carpet/Tiles														
Plasterboard	See detail	Nil														
Roof	Construction	Insulation	Colour	solar abs.	Detail											
Concrete	See detail	Medium SA 0.475 - 0.7		R1.0 to A18, B19												
Metal deck	See detail	Medium SA 0.475 - 0.7		R2.0 to A20, A21, C15, C26, C27, C28, D24, D25												
Lighting	No downlights have been considered as part of this assessment.															
Exhaust fans	Exhaust fans have been included to all bathrooms, ensuites, WC, laundries and kitchens. Exhaust fans have been assessed as being sealed.															
Central Energy System - Hot Water System Central hot water system (No. 1) gas instantaneous Piping insulation (ingrainmain & supply risers) (a) Piping external to building R0.45 (120 mm).																
Central Energy System - Lift Lift (No. 1) - gearless traction with VVVF motor - Number of levels (including basement): 8 Lift (No. 2) - gearless traction with VVVF motor - Number of levels (including basement): 11 Lift (No. 3) - gearless traction with VVVF motor - Number of levels (including basement): 11 Lift (No. 4) - geared traction with VVVF motor - Number of levels (including basement): 11																
BASIX Water Commitments 3 star (4-6 bar) (6L/min) rated shower head, 4 star rated toilet, 5 star rated kitchen taps, 5 star rated bathroom taps																

No.	Description	Date
M	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
L	DA AMENDMENTS - FOR APPROVAL	16.12.14
K	DRAFT AMENDMENTS	04.12.14
J	BASIX INFORMATION	01.09.14
I	DA AMENDMENTS - FOR APPROVAL	01.08.14
H	CONSULTANT ISSUE	23.07.14
G	DA AMENDMENTS - FOR APPROVAL	21.07.14

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LEVEL 2 FLOOR PLAN

PROPOSED RESIDENTIAL APARTMENT BUILDING

LOT 7 SECTION E DP:6934, 184-192 RESTWELL RD PRAIRIEWOOD

Date.	23.06.15	Job No.	2248_DA	Sheet No.	09
Scale.	1 : 100	Drawn by.	JM	Issue.	M

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The following assumptions have been used in the thermal and BASIX assessment. Should the following not be complied with a reassessment may be required.

Windows	Product	Glass	Frame	U value	SHGC	Area	Detail					
Generic	Single clear	Improved aluminium	6.35	0.77	-	C11, C15, C19	To all other glazing, not listed above.					
Generic	Single clear	Standard aluminium	7.32	0.77	-	-	To all other glazing, not listed above.					
Window and skylight U and SHGC values, if specified, are according to NRC 100. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above. Windows have been assessed as complying with AS2047.												
External walls	Construction	Insulation	Colour	solar abs.	Detail							
Generic	Single clear	Improved aluminium	6.35	0.77	-	C11, C15, C19	To all other glazing, not listed above.					
Generic	Single clear	Standard aluminium	7.32	0.77	-	-	To all other glazing, not listed above.					
Window and skylight U and SHGC values, if specified, are according to NRC 100. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above. Windows have been assessed as complying with AS2047.												
Internal walls	Construction	Insulation	Detail									
Plasterboard on studs	Nil	To internal walls within the unit										
200mm Hebel/plasterboard	R1.0	To all party walls between the units/common hallways										
Floors/Ceiling	Construction	Insulation	Covering	Detail								
200mm concrete	See detail	Carpets/Tiles	R2.0 to A1, A2, A3, B1, B2, B3, D4 R1.0 to C1, C2, C3, D1, D2, D3	Nil to all others not listed above.								
Plasterboard	See detail	Nil	R2.5 to all ceilings (only applies where there is a metal deck roof above: A20, A21, B24, B25, D31, D33)	Nil to all others not listed above.								
Roof	Construction	Insulation	Colour	solar abs.	Detail							
Concrete	See detail	Medium SA 0.475 - 0.7	Medium SA 0.475 - 0.7 (reducer)	R1.0 to A18, B19								
Metal deck	See detail	Medium SA 0.475 - 0.7	Dark - 0.7 (face lock)	R2.0 to A20, A21, C15, C26, C27, C28, D24, D25								
Lighting	No downlights have been considered as part of this assessment.											
Exhaust	Exhaust fans have been included to all bathrooms, ensuites, WC, laundries and kitchens. Exhaust fans have been assessed as being sealed.											
Central Energy System - Hot Water System Central hot water system (No. 1) gas instantaneous Piping insulation (ingrainmat & supply risers): (a) Piping external to building R0.45 (120 mm); Central Energy System - Lift Lift (No. 1) - gearless traction with VVVF motor - Number of levels (including basement): 8 Lift (No. 2) - gearless traction with VVVF motor - Number of levels (including basement): 11 Lift (No. 3) - gearless traction with VVVF motor - Number of levels (including basement): 11 Lift (No. 4) - geared traction with VVVF motor - Number of levels (including basement): 11 BASIX Water Commitments 3 star (4-5 star <= 6.0mm) rated shower heads, 4 star rated toilets, 5 star rated kitchen taps, 5 star rated bathroom taps												

No.	Description	Date
E	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
D	DA AMENDMENTS - FOR APPROVAL	16.12.14
C	DRAFT AMENDMENTS	04.12.14
B	BASIX INFORMATION	01.09.14
A	DA AMENDMENTS - FOR APPROVAL	01.08.14

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LEVEL 3-5 FLOOR PLAN

PROPOSED RESIDENTIAL APARTMENT BUILDING

LOT 7 SECTION E DP:6934, 184-192 RESTWELL RD PRAIRIEWOOD

Date.	23.06.15	Job No.	2248_DA	Sheet No.	10
Scale.	1 : 100	Drawn by.	JM	Issue.	E

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The following assumptions have been used in the thermal and BASIX assessment. Should the following be complied with a reassessment may be required.							
Windows	Product ID	Class	Frame	U value	SHGC	Area	Detail
Generic	Single clear	Improved aluminium	6.35	0.77	-	C11, C15, C19	
Generic	Single clear	Standard aluminium	7.32	0.77	-	To all other glazing, not listed above.	
Window and skylight U and SHGC values, if specified, are according to NRC 100. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above. Windows have been assessed as complying with AS2047.							
External walls	Construction	Insulation	Colour	solar abs.	Detail		
Cavity brick, render and Cavity brick, face brick.	As per detail	Medium SA 0.475 - 0.7 (render) Dark >0.7 (face brick)	R0.14 to all external walls, including wall which adjoin lift: A15, A19, B19, C11, C15, C19.	Nil to all other units not listed above.			
Internal walls	Construction	Insulation	Detail				
Plasterboard on studs	Nil	To internal walls within the unit					
200mm Hebel/plasterboard	R1.0	To all party walls between the units/common hallways					
Floors	Construction	Insulation	Covering				
200mm concrete	See detail	Carpets/Tiles	R2.0 to A1, A2, A3, B1, B2, B3, D1, R1.0 to C1, C2, D1, D2, D3 Nil to all others not listed above.				
			R2.5 to all ceilings (only applies where there is a metal deck roof above: A20, A21, B24, B25, D11, D13)				
Plasterboard			Nil to all other units not listed above.				
Roof	Construction	Insulation	Colour	solar abs.	Detail		
Concrete	See detail	Medium SA 0.475 - 0.7	R1.0 to A18, B19 R2.0 to A20, A21, C15, C26, C27, C28, D24, D25				
Metal deck	See detail	Medium SA 0.475 - 0.7	Reflective foil to A20, A21, B24, B25, D11, D13.				
Lighting	No downlights have been considered as part of this assessment.						
Exhaust fans	Exhaust fans have been included to all bathrooms, ensuites, WC, laundries and kitchens. Exhaust fans have been assessed as being sealed.						
Central Energy System - Hot Water System							
Central hot water system (No. 1) gas instantaneous Piping insulation (ringmain & supply risers):							
(a) Piping external to building R0.45 (120 mm):							
Central Energy System - Lift							
Lift (No. 1) - gearless traction with VVVF motor - Number of levels (including basement): 8							
Lift (No. 2) - gearless traction with VVVF motor - Number of levels (including basement): 11							
Lift (No. 3) - gearless traction with VVVF motor - Number of levels (including basement): 11							
Lift (No. 4) - geared traction with VVVF motor - Number of levels (including basement): 11							
BASIX Water Commitments							
3 star (4-6 bar <= 60mm) rated shower head, 4 star rated toilet, 5 star rated kitchen taps, 5 star rated bathroom taps							

No.	Description	Date
M	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
L	DA AMENDMENTS - FOR APPROVAL	16.12.14
K	DRAFT AMENDMENTS	04.12.14
J	BASIX INFORMATION	01.09.14
I	DA AMENDMENTS - FOR APPROVAL	01.08.14
H	CONSULTANT ISSUE	23.07.14
G	DA AMENDMENTS - FOR APPROVAL	21.07.14

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LEVEL 6 FLOOR PLAN

PROPOSED RESIDENTIAL APARTMENT BUILDING

LOT 7 SECTION E DP:6934,
184-192 RESTWELL RD PRAIRIEWOOD

Date.	Job No.	Sheet No.
23.06.15	2248_DA	11
Scale.	Drawn by.	Issue.
1 : 100	JM	M

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BOUNDARY 56.34m

BOUNDARY 75.58m

BOUNDARY 24.27m

BOUNDARY 82.10m



The following assumptions have been used in the thermal and BASIX assessment. Should the following not be complied with a reassessment may be required.							
Windows	Product	Glass	Frame	U	SHGC	Area	Detail
Generic	Single clear	Improved aluminium	6.35	0.77	-	C11, C15, C19	To all other glazing, not listed above.
Generic	Single clear	Standard aluminium	7.32	0.77	-	-	To all other glazing, not listed above.
Window and skylight U and SHGC values, if specified, are according to NRC 100. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above. Windows have been assessed as complying with AS2047.							
External walls	Construction	Insulation	Colour	solar abs.	Detail		
Cavity brick, render and Cavity brick, face brick.	As per detail	Medium SA 0.475 - 0.7 (render)	R0.14 to all external walls, including wall which adjoin lift: A15, A19, B19, C11, C15, C19.		Nil to all other units not listed above.		
Internal walls	Construction	Insulation	Detail				
Plasterboard on studs	Nil	To internal walls within the unit					
200mm Hebel/plasterboard	R1.0	To all party walls between the units/common hallways					
Floors	Construction	Insulation	Covering				
200mm concrete	See detail	Carpet/Tiles	R2.0 to A1, A2, A3, B1, B2, B3, D4 R1.0 to C1, C2, C3, D1, D2, D3 Nil to all others not listed above. R2.5 to all ceilings (only applies where there is a metal deck roof above: A20, A21, B24, B25, D31, D33)				
Plasterboard	See detail						
Roof	Construction	Insulation	Colour	solar abs.	Detail		
Concrete	See detail	Medium SA 0.475 - 0.7	R1.0 to A18, B19 R2.0 to A20, A21, C15, C26, C27, C28, D24, D32		Reflective foil to A20, A21, B24, B25, D31, D33.		
Metal deck	See detail	Medium SA 0.475 - 0.7					
Lighting	No downlights have been considered as part of this assessment.						
Exhaust fans	Exhaust fans have been included to all bathrooms, ensuites, WC, laundries and kitchens. Exhaust fans have been assessed as being sealed.						
Central Energy System - Hot Water System							
Central hot water system (No. 1) gas instantaneous Piping insulation (ringmain & supply risers): (a) Piping external to building R0.45 (1-20 mm).							
Central Energy System - Lift							
Lift (No. 1) - gearless traction with VVVF motor - Number of levels (including basement): 8							
Lift (No. 2) - gearless traction with VVVF motor - Number of levels (including basement): 11							
Lift (No. 3) - gearless traction with VVVF motor - Number of levels (including basement): 11							
Lift (No. 4) - geared traction with VVVF motor - Number of levels (including basement): 11							
BASIX Water Commitments							
3 star (4-6 lps) <= (6L/min) rated shower head, 4 star rated toilet, 5 star rated kitchen taps, 5 star rated bathroom taps							

No.	Description	Date
M	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
L	DA AMENDMENTS - FOR APPROVAL	16.12.14
K	DRAFT AMENDMENTS	04.12.14
J	BASIX INFORMATION	01.09.14
I	DA AMENDMENTS - FOR APPROVAL	01.08.14
H	CONSULTANT ISSUE	23.07.14
G	DA AMENDMENTS - FOR APPROVAL	21.07.14

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LEVEL 7 & 8 FLOOR PLAN

PROPOSED RESIDENTIAL APARTMENT BUILDING

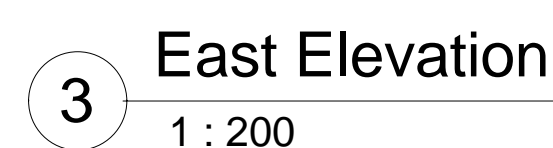
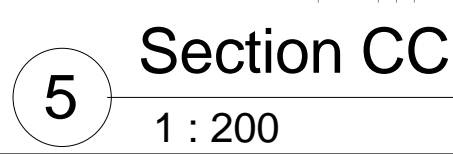
LOT 7 SECTION E DP:6934,
184-192 RESTWELL RD PRAIRIEWOOD

Date.	Job No.	Sheet No.
23.06.15	2248_DA	12
Scale.	Drawn by.	Issue.
1 : 100	JM	M

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1 Typical Level 7 & 8

1 : 100



FINISHES SCHEDULE	
CODE	DESCRIPTION
T1	CEMENT RENDER AND PAINT FINISH
T2	FACE BRICK FINISH
T3	OFF FORM CONCRETE FINISH
T4	FEATURE STONE FINISH
T5	ALUMINIUM WINDOWS & DOORS
T6	TIMBER FINISH
T7	COLORBOND CAPPING
T8	METAL ROOFING
T9	PAVEMENT
T10	COBBLESTONE
T11	ALUMINIUM LOUVRES
T12	METAL SCREENING

No.	Description	Date
N	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
M	DA AMENDMENTS - FOR APPROVAL	16.12.14
L	DRAFT AMENDMENTS	04.12.14
K	BASIX INFORMATION	01.09.14
J	DA AMENDMENTS - FOR APPROVAL	01.08.14
I	CONSULTANT ISSUE	23.07.14
H	DA AMENDMENTS - FOR APPROVAL	21.07.14

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ELEVATIONS & SECTIONS

PROPOSED RESIDENTIAL
APARTMENT BUILDING

LOT 7 SECTION E DP:6934,
184-192 RESTWELL RD PRAIRIEWOOD

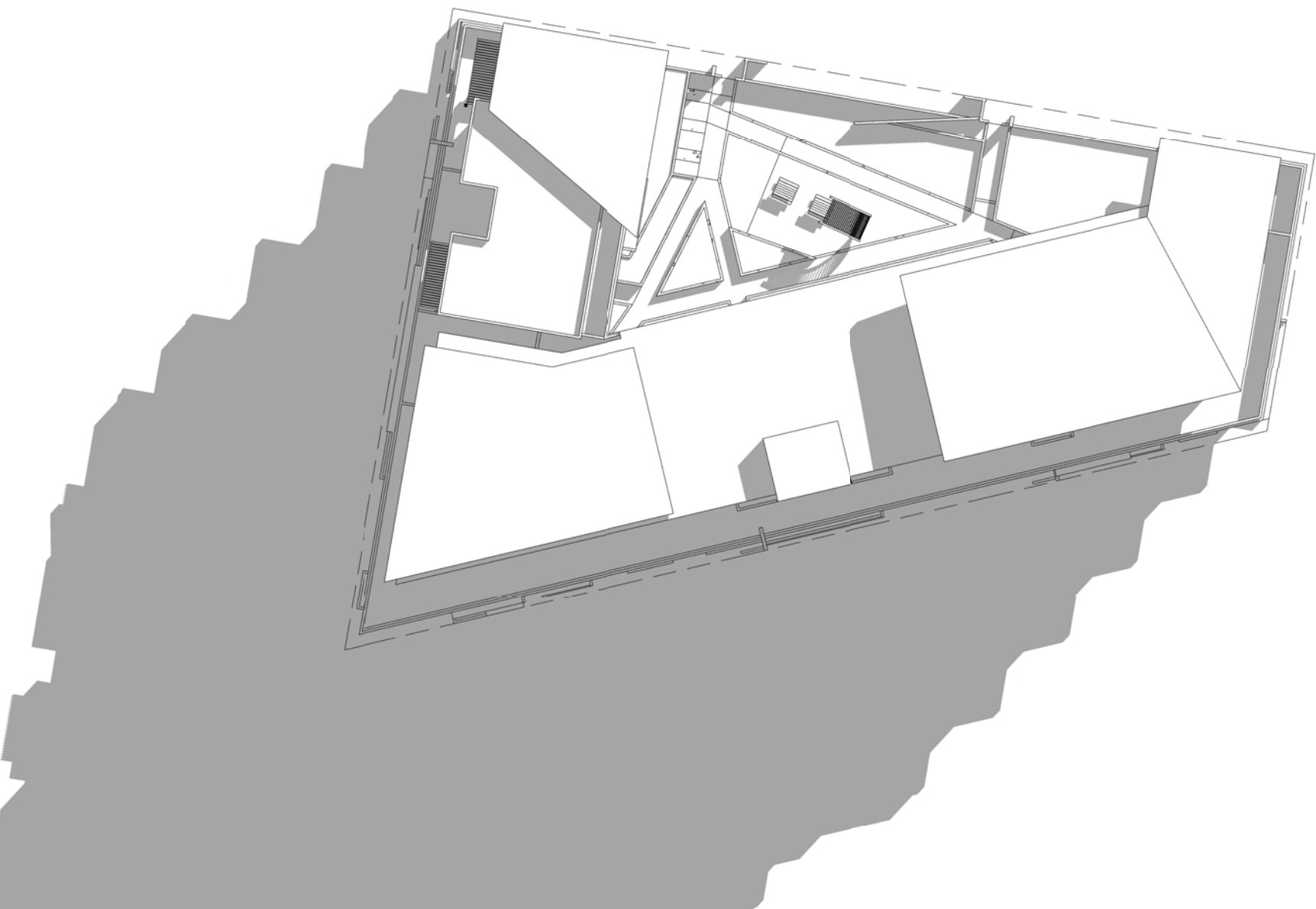
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Scale. 1 : 200	Drawn by. IM	Issue. N

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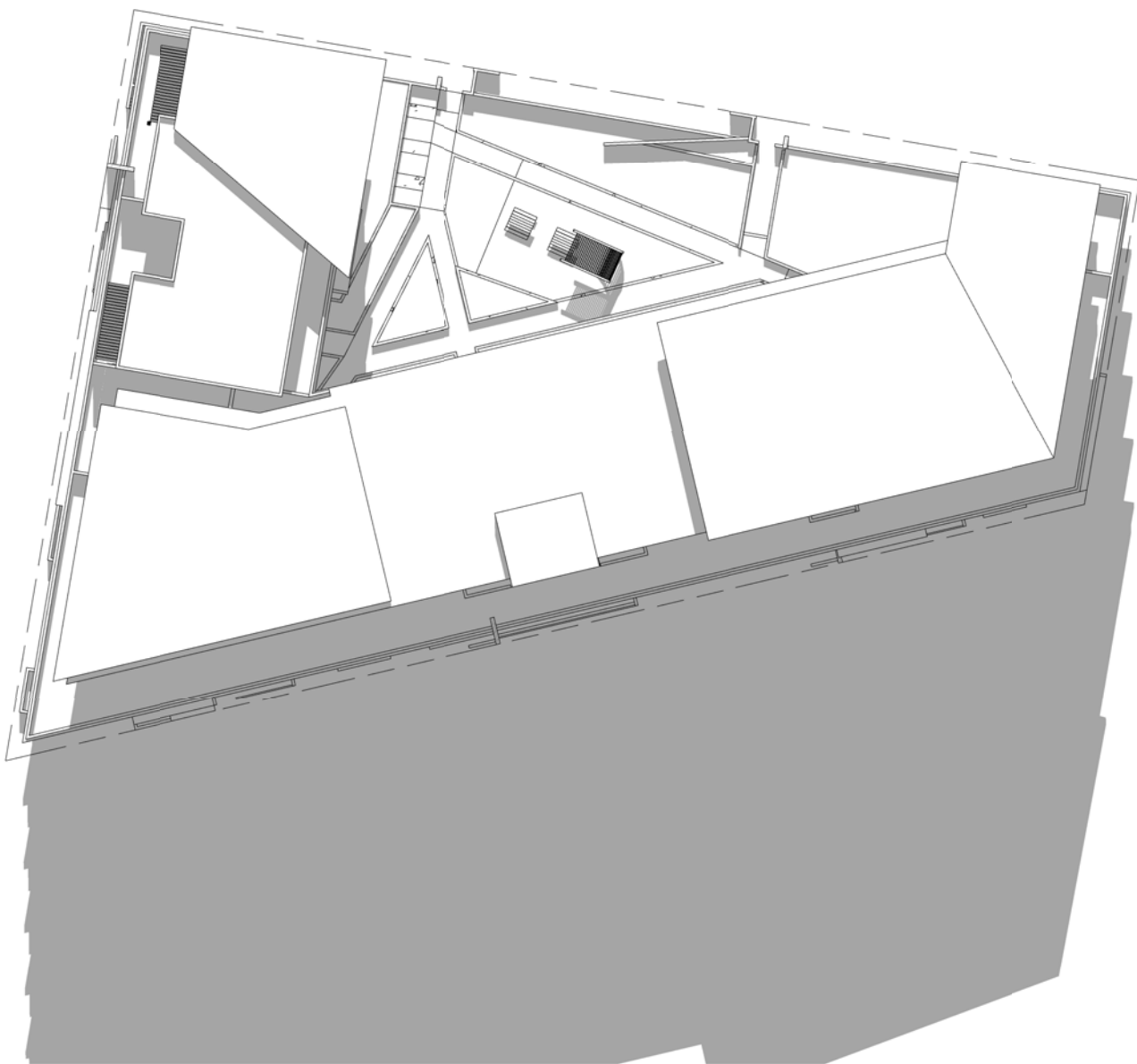
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<p><i>The following assumptions have been used in the Thermal and BASIX assessment. Should the following not be complied with a recommendation may be required.</i></p>						
Windows	Product ID	Glass	Frame	U value	SHGC	Area m ²
Generic		Single clear	Improved aluminium	6.35	0.77	C11, C15, C19
Generic		Single clear	Standard aluminium	7.32	0.77	For all other glazing, not listed above
<p><i>Window and skylight U and SHGC values, if specified, are according to NRC 100. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above.</i></p> <p><i>Windows have been assessed as complying with the following:</i></p>						
External walls	Construction	Insulation	Colour – solar abs.	Detail		
				Medium SA 0.475 – 0.7 (render)	R0.14 to all external walls, R0.14 to all external walls, including wall which adjoin lift: A15, A19, B1, B1, C15, C19.	
Cavity brick, render and Cavity brick, face brick.	As per detail			Dark >0.7 (face brick)	R0.14 to all external walls, including wall which adjoin lift: A15, A19, B1, B1, C15, C19.	
					Nil to all other units not listed above.	
Internal walls	Construction	Insulation	Detail			
Plasterboard on studs	Nil			To internal walls within the unit		
200mm Hvel plasterboard	R1.0			To all party walls between the units / common hallways		
Floors / Ceiling	Construction	Insulation	Covering	Detail		
200mm concrete	See detail		Carpet/Tiles	R2.0 to A1, A2, A3, B1, B2, B3, D4 R1.0 to C1, C2, C3, D2, D3 Nil to all others not listed above.		
				R2.5 to all ceilings (only applies where there is a metal deck roof above: A20, A21, B24, B25, D33, D33)		
Plasterboard	See detail			Nil to all others not listed above.		
Roof	Construction	Insulation	Colour – solar abs.	Detail		
				R1.0 to A18, B19		
Concrete	See detail		Medium SA 0.475 – 0.7	R2.0 to A20, A21, C19, C26, C27, C28, D24, D32		
Metal deck	See detail		Medium SA 0.475 – 0.7	Reflective foil to A20, A21, B24, B25, D31, D35.		
<p>Lighting</p> <p>No downlights have been considered as part of this assessment.</p>						
<p>Exhaust fans</p> <p>Exhaust fans have been included to all bathrooms, ensuite, WC, laundries and kitchens. Exhaust fans have been assessed as being sealed.</p>						
<p>Central Energy System - Hot Water System</p> <p>Central hot water system is 1 gas instantaneous Piping insulation (rimgasm & supply risers):</p> <ul style="list-style-type: none"> a) Piping entering to building: R0.45 (<=0 mm) 						
<p>Central Energy System - Lift</p> <p>Lift (No. 1) - gearless traction with VVVVF motor - Number of levels (including basement): 8 Lift (No. 2) - gearless traction with VVVVF motor - Number of levels (including basement): 11 Lift (No. 3) - gearless traction with VVVVF motor - Number of levels (including basement): 11 Lift (No. 4) - gearless traction with VVVVF motor - Number of levels (including basement): 11 Lift (No. 5) - gearless traction with VVVVF motor - Number of levels (including basement): 11</p>						
<p>BASIX Water Commitments</p> <p>3 star (4.5 to 6.0 L/m²/day) rated shower head, 4 star rated toilets, 5 star rated kitchen taps, 5 star rated bathroom tap</p>						

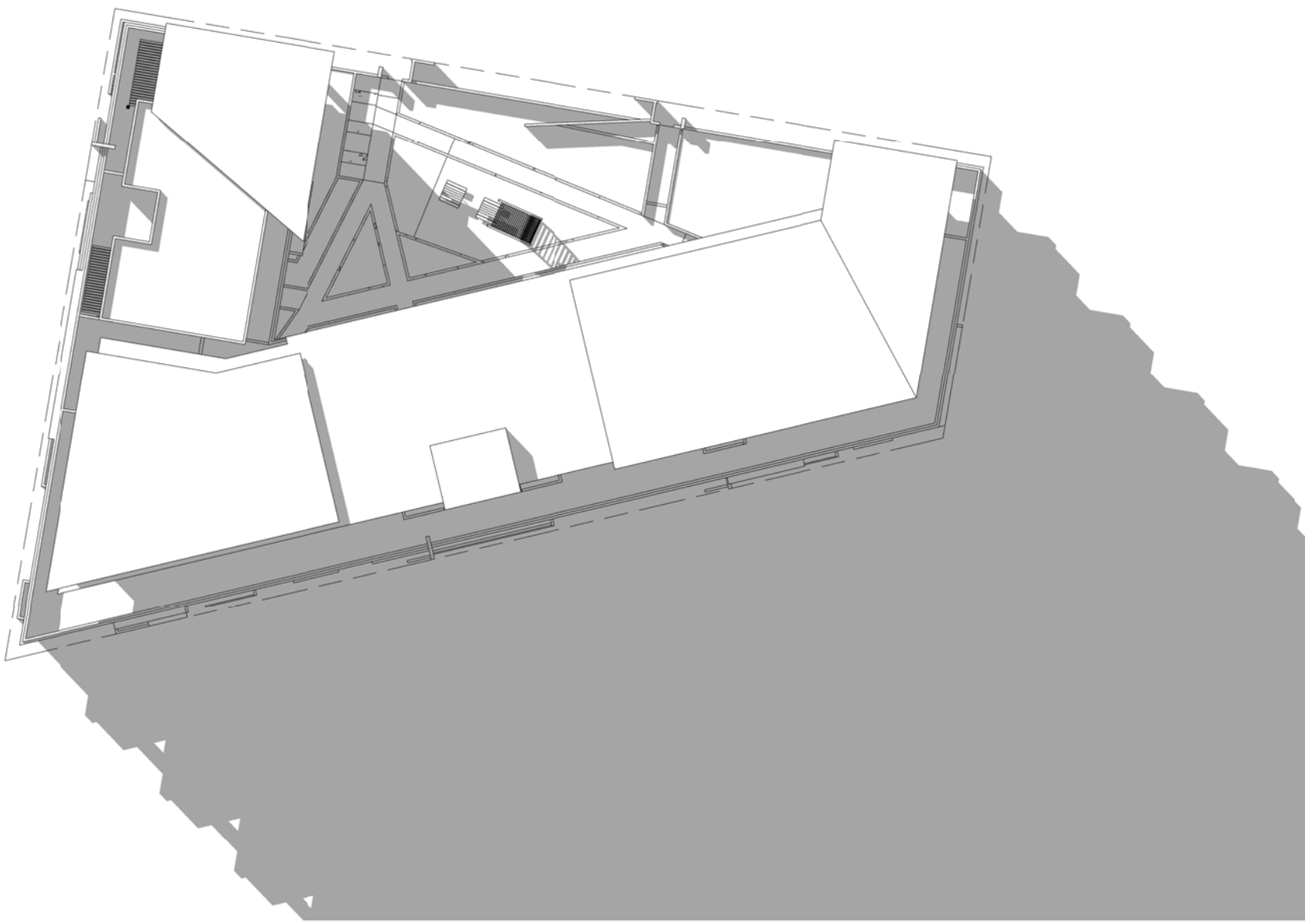
Shadow Diagrams (Mid Winter 21st June)



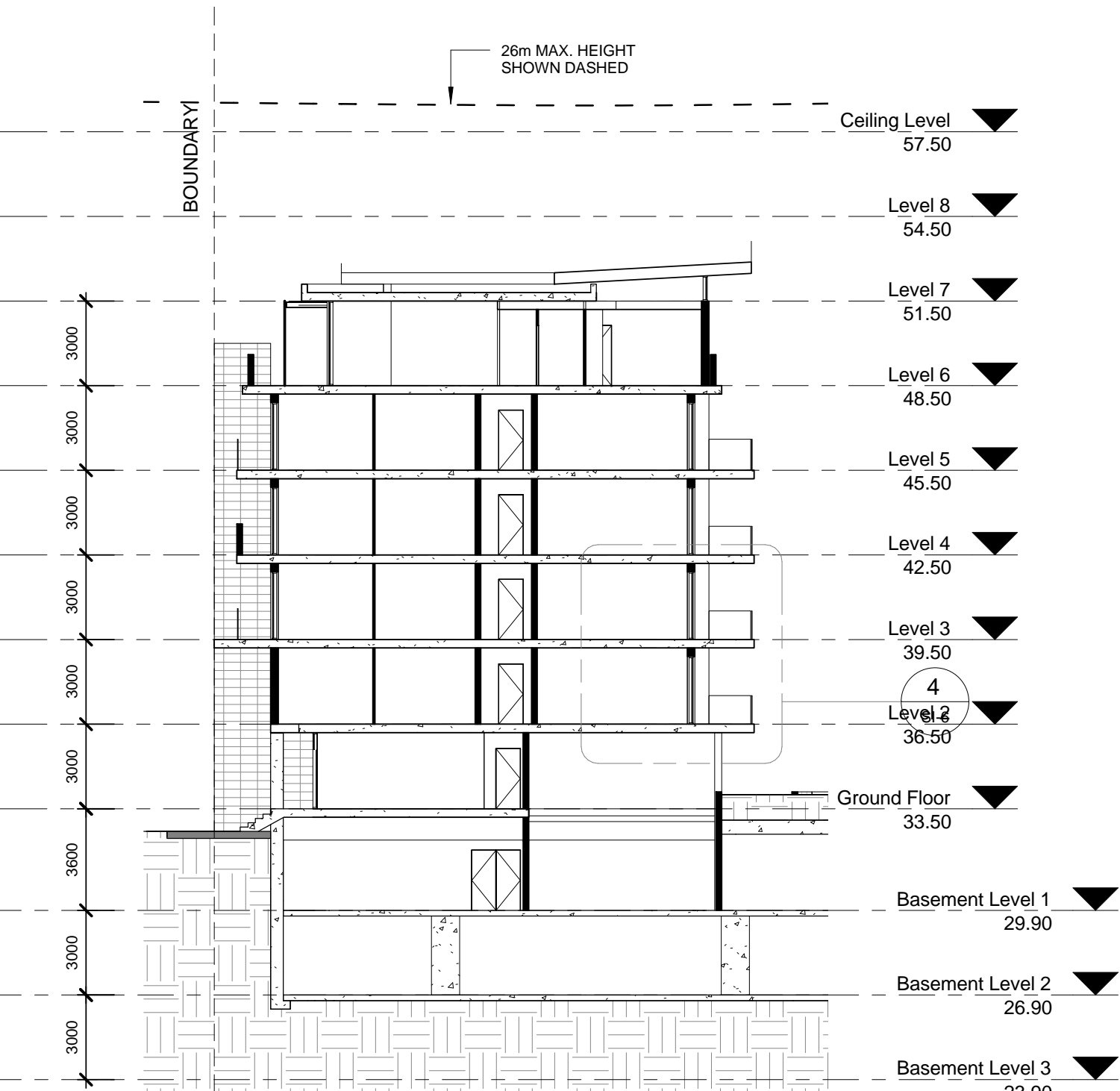
4 9-00am
1 : 500



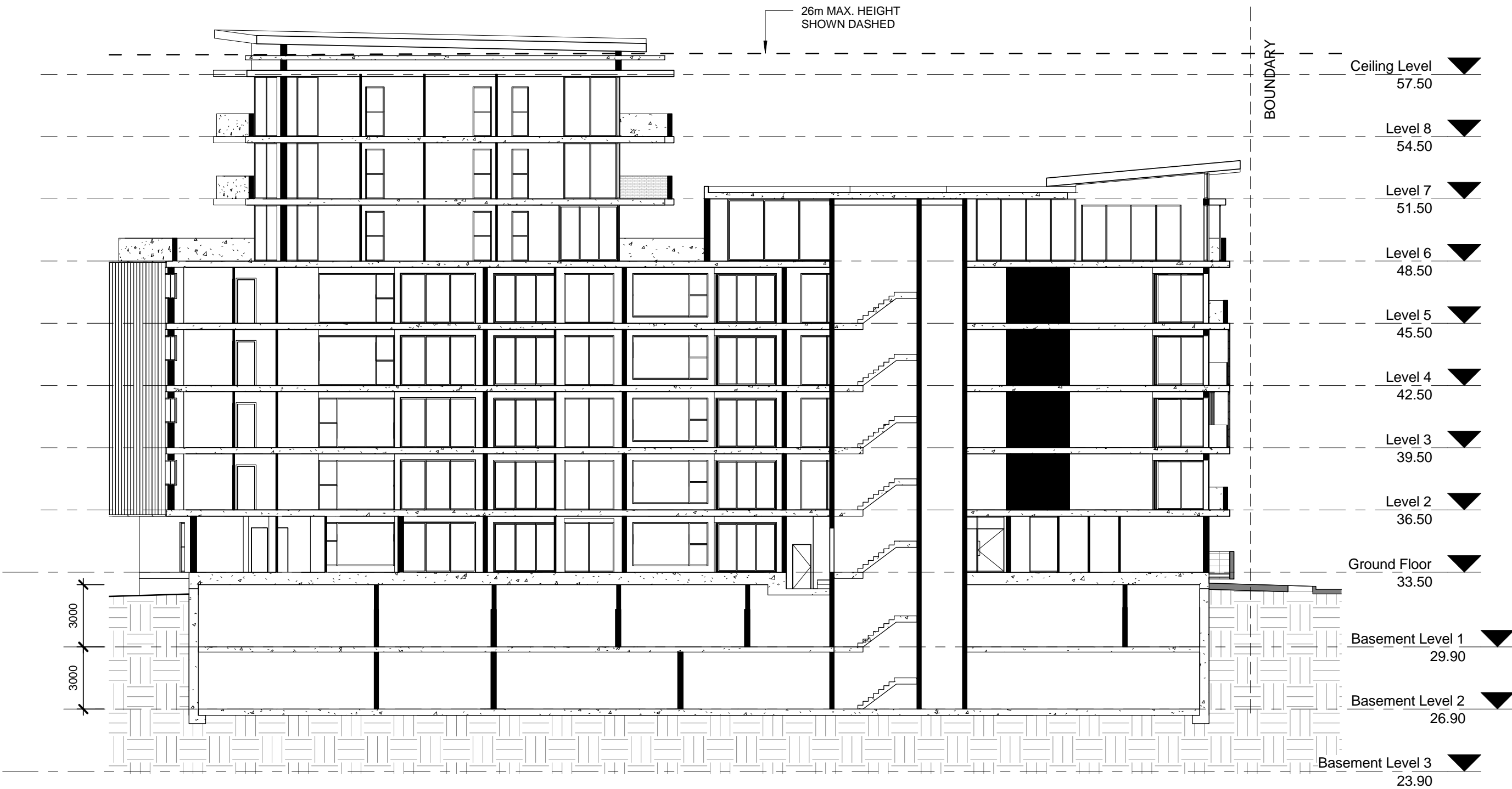
5 12-00pm
1 : 500



6 3-00pm
1 : 500



1 Section AA
1 : 200



2 Section BB
1 : 200

The following assumptions have been used in the thermal and BASIX assessment. Should the following not be complied with a reassessment may be required.

Windows	Product ID	Glass	Frame	U value	SHGC	Area	Detail										
Generic	Single clear	Improved aluminium	6.35	0.77	-	C11, C15, C19	To all other glazing, not listed above.										
Generic	Single clear	Standard aluminium	7.32	0.77	-	-	To all other glazing, not listed above.										
Window and skylight U and SHGC values, if specified, are according to NRC 100. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above. Windows have been assessed as complying with AS2047.																	
External walls	Construction	Insulation	Colour	solar abs.	Detail												
						R0.14 to all external walls of A7, A11, B11, B15, B16, C7, D19, D24.											
	Cavity brick, render and Cavity brick, face brick.	As per detail	Dark - 0.7 (face brick)	R0.14 to all external walls, including wall which adjoin lift: A15, A19, B19, C11, C15, C19.	Nil to all other units not listed above.												
Internal walls	Construction	Insulation	Detail														
	Plasterboard on studs	Nil	To internal walls within the unit														
	200mm Hebel/plasterboard	R1.0	To all party walls between the units/common hallways														
Floors	Construction	Insulation	Covering	Detail													
	200mm concrete	See detail	Carpet/Tiles	R2.0 to A1, A2, A3, B1, B2, B3, B4, R1.0 to C1, C2, C3, D1, D2, D3				Nil to all others not listed above.									
				R2.5 to all ceilings (only applies where there is a metal deck roof above A20, A21, B24, B25, D11, D13)													
Roof	Construction	Insulation	Colour	solar abs.	Detail												
	Plasterboard	See detail				Nil to all others not listed above.											
	Concrete	See detail	Medium SA 0.475 - 0.7	R1.0 to A18, B19, R2.0 to A20, A21, C15, C26, C27, C28, D24, D25													
	Metal deck	See detail	Medium SA 0.475 - 0.7	Reflective foil to A20, A21, B24, B25, D11, D13.													
Lighting	No downlights have been considered as part of this assessment.																
Exhaust fans	Exhaust fans have been included to all bathrooms, ensuites, WC, laundries and kitchens. Exhaust fans have been assessed as being sealed.																
Central Energy System - Hot Water System																	
Central hot water system (No. 1) gas instantaneous Piping insulation (ringmain & supply risers): (a) Piping external to building R0.45 (120 mm).																	
Central Energy System - Lift																	
Lift (No. 1) - gearless traction with VVVF motor - Number of levels (including basement): 8																	
Lift (No. 2) - gearless traction with VVVF motor - Number of levels (including basement): 11																	
Lift (No. 3) - gearless traction with VVVF motor - Number of levels (including basement): 11																	
Lift (No. 4) - geared traction with VVVF motor - Number of levels (including basement): 11																	
BASIX Water Commitments																	
3 star (4-6 bar <= 6L/min) rated shower head, 4 star rated toilet, 4 star rated kitchen taps, 5 star rated bathroom taps																	

FINISHES SCHEDULE		
CODE	DESCRIPTION	
T1	CEMENT RENDER AND PAINT FINISH	
T2	FACE BRICK FINISH	
T3	OFF FORM CONCRETE FINISH	
T4	FEATURE STONE FINISH	
T5	ALUMINIUM WINDOWS & DOORS	
T6	TIMBER FINISH	
T7	COLORBOND CAPPING	
T8	METAL ROOFING	
T9	PAVEMENT	
T10	COBBLESTONE	
T11	ALUMINIUM LOUVRES	
T12	METAL SCREENING	

No.	Description	Date
M	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
L	DA AMENDMENTS - FOR APPROVAL	16.12.14
K	DRAFT AMENDMENTS	04.12.14
J	BASIX INFORMATION	01.09.14
I	DA AMENDMENTS - FOR APPROVAL	01.08.14
H	CONSULTANT ISSUE	23.07.14
G	DA AMENDMENTS - FOR APPROVAL	21.07.14

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SHADOW DIAGRAMS & SECTIONS

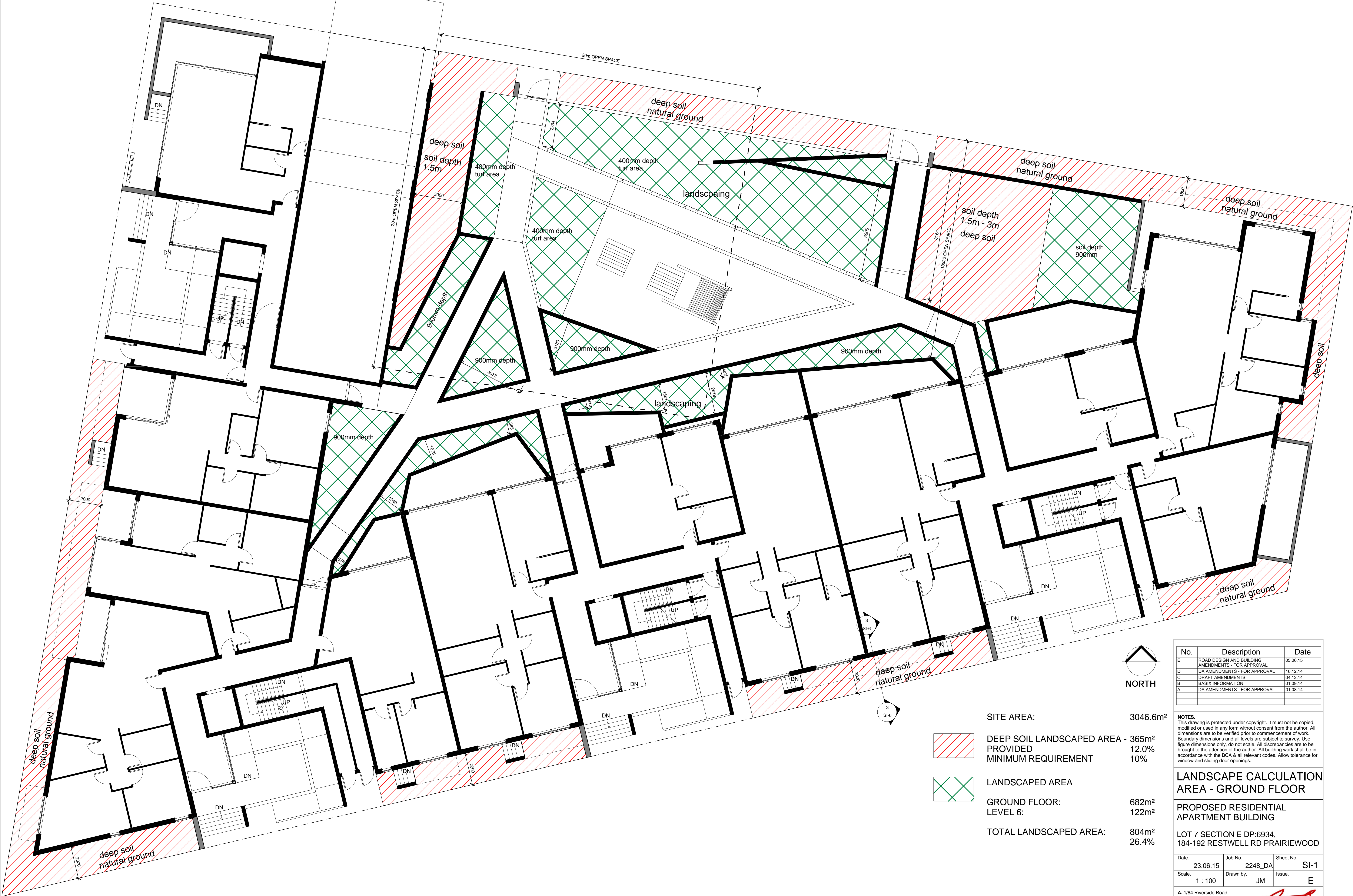
PROPOSED RESIDENTIAL APARTMENT BUILDING

LOT 7 SECTION E DP:6934, 184-192 RESTWELL RD PRAIRIEWOOD

Date.	23.06.15	Job No.	2248_DA	Sheet No.	14
Scale.	As indicated	Drawn by.	JM	Issue.	M

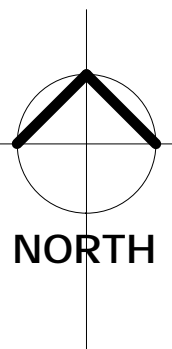
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nominated architect Alfredo Pagano 6774 Salvatore Pagano 7003





Landscape Area - Ground Floor
1:200 @A3

SITE AREA:		3046.6m ²
	DEEP SOIL LANDSCAPED AREA - PROVIDED	365m ²
	MINIMUM REQUIREMENT	12.0% 10%
	LANDSCAPED AREA	
	GROUND FLOOR:	682m ²
	LEVEL 6:	122m ²
	TOTAL LANDSCAPED AREA:	804m ² 26.4%



No.	Description	Date
E	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
D	DA AMENDMENTS - FOR APPROVAL	16.12.14
C	DRAFT AMENDMENTS	04.12.14
B	BASIX INFORMATION	01.09.14
A	DA AMENDMENTS - FOR APPROVAL	01.08.14

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LANDSCAPE CALCULATION
AREA - GROUND FLOOR

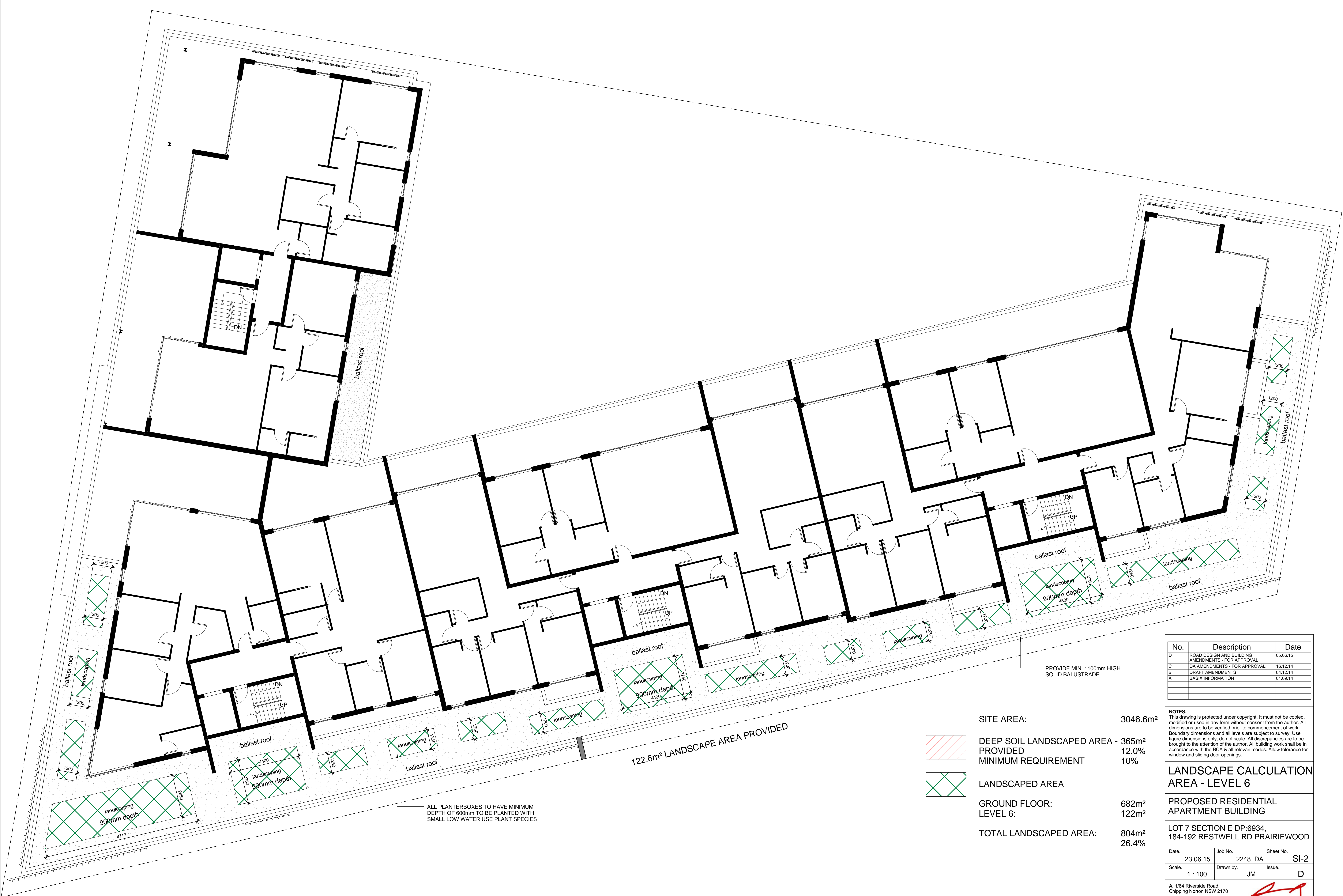
PROPOSED RESIDENTIAL
APARTMENT BUILDING

LOT 7 SECTION E DP:6934,
184-192 RESTWELL RD PRAIRIEWOOD

Date.	Job No.	Sheet No.
23.06.15	2248_DA	SI-1
Scale.	Drawn by.	Issue.
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Landscape Area - Level 6
1:200 @A3

SITE AREA:		3046.6m²
	DEEP SOIL LANDSCAPED AREA - PROVIDED	365m²
	MINIMUM REQUIREMENT	12.0%
	LANDSCAPED AREA	
GROUND FLOOR:		682m²
LEVEL 6:		122m²
TOTAL LANDSCAPED AREA:		804m²
		26.4%

No.	Description	Date
D	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
C	DA AMENDMENTS - FOR APPROVAL	16.12.14
B	DRAFT AMENDMENTS	04.12.14
A	BASIX INFORMATION	01.09.14

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LANDSCAPE CALCULATION
AREA - LEVEL 6

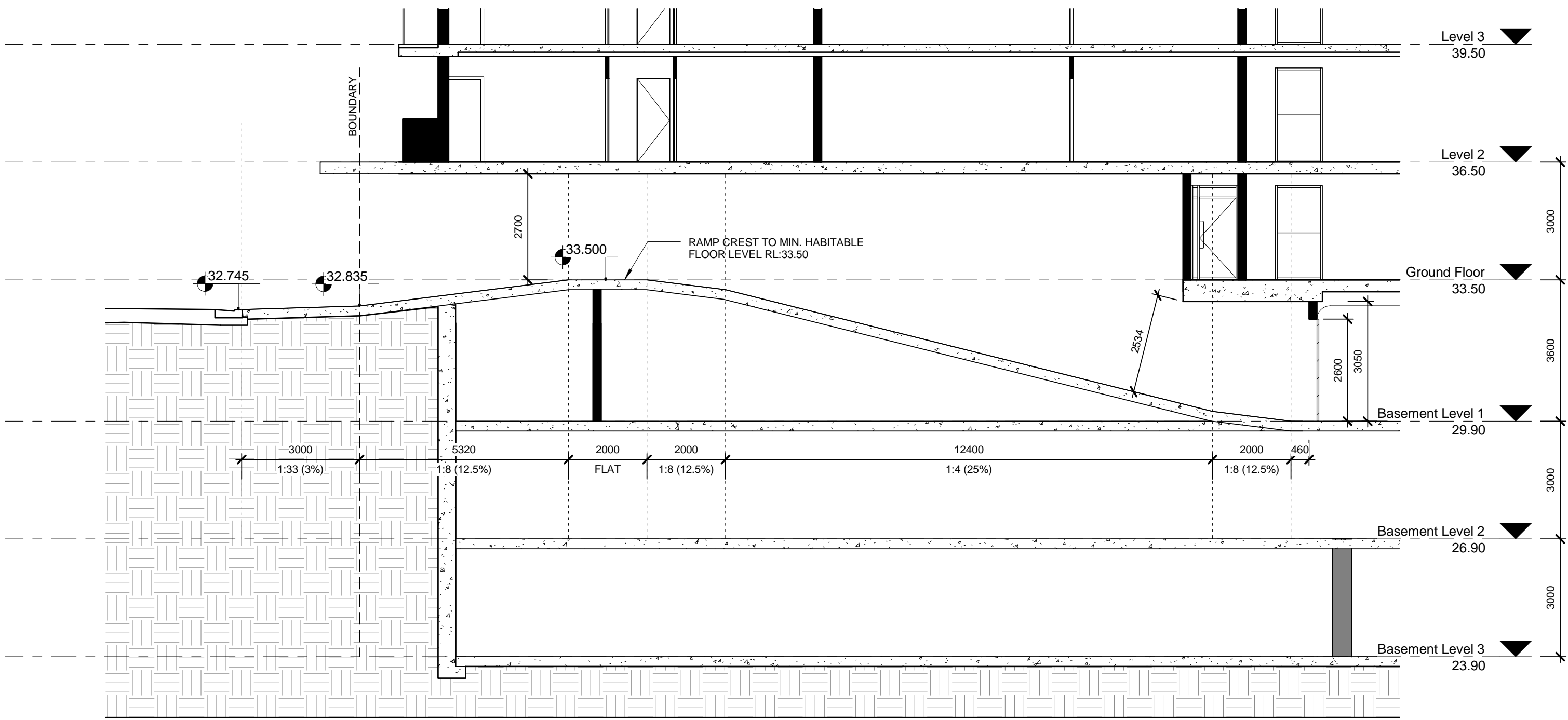
PROPOSED RESIDENTIAL
APARTMENT BUILDING

LOT 7 SECTION E DP:6934,
184-192 RESTWELL RD PRAIRIEWOOD

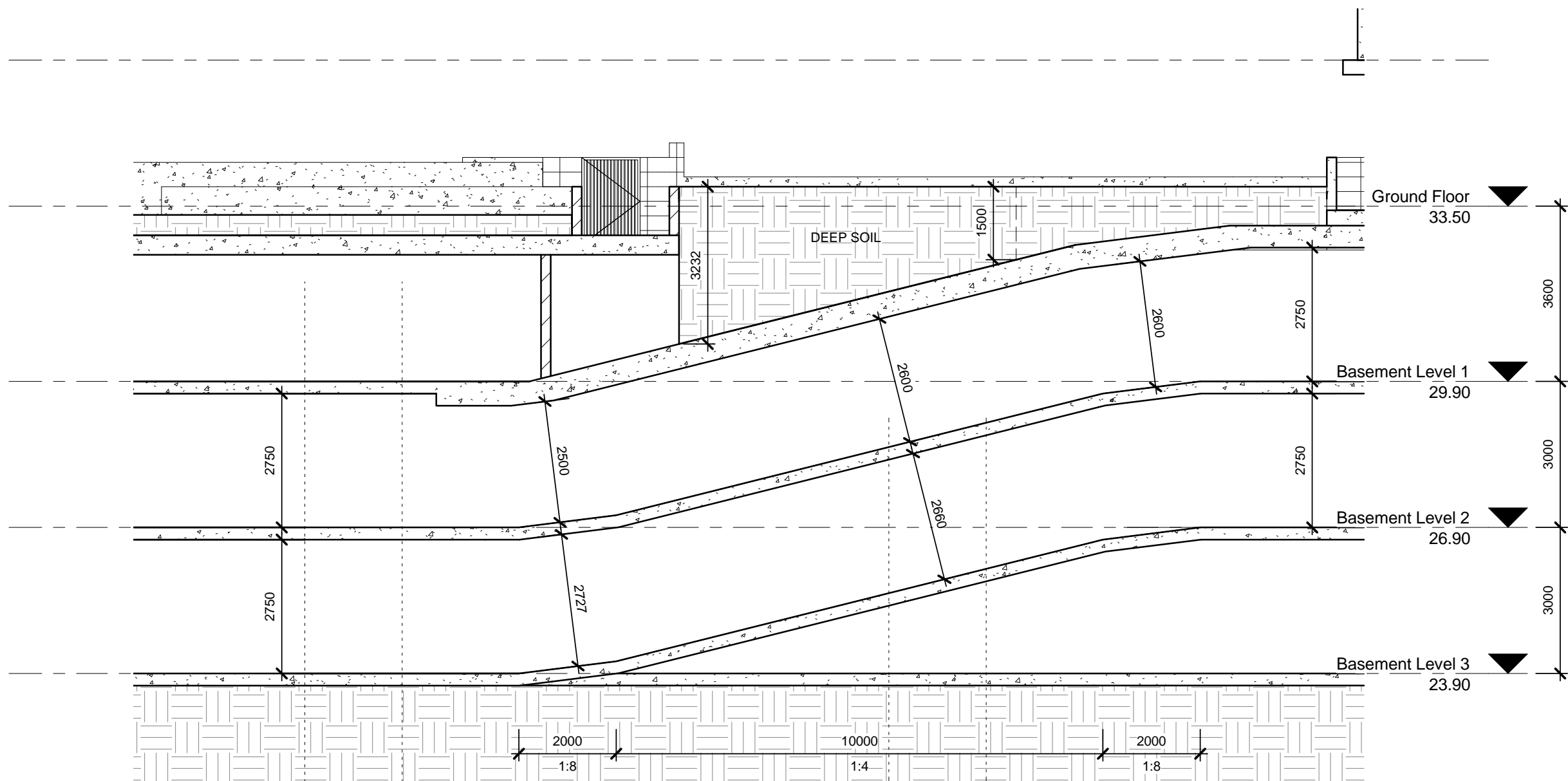
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23.06.15	2248_DA	SI-2
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1 : 100	JM	D

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1 Basement Entry/Exit Ramp
1 : 100



2 Basement Ramps
1 : 100

No.	Description	Date
D	AMENDED RAMP GRADIENT	17.06.15
C	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
B	DA AMENDMENTS - FOR APPROVAL	16.12.14
A	DRAFT AMENDMENTS	04.12.14

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RAMP SECTIONS

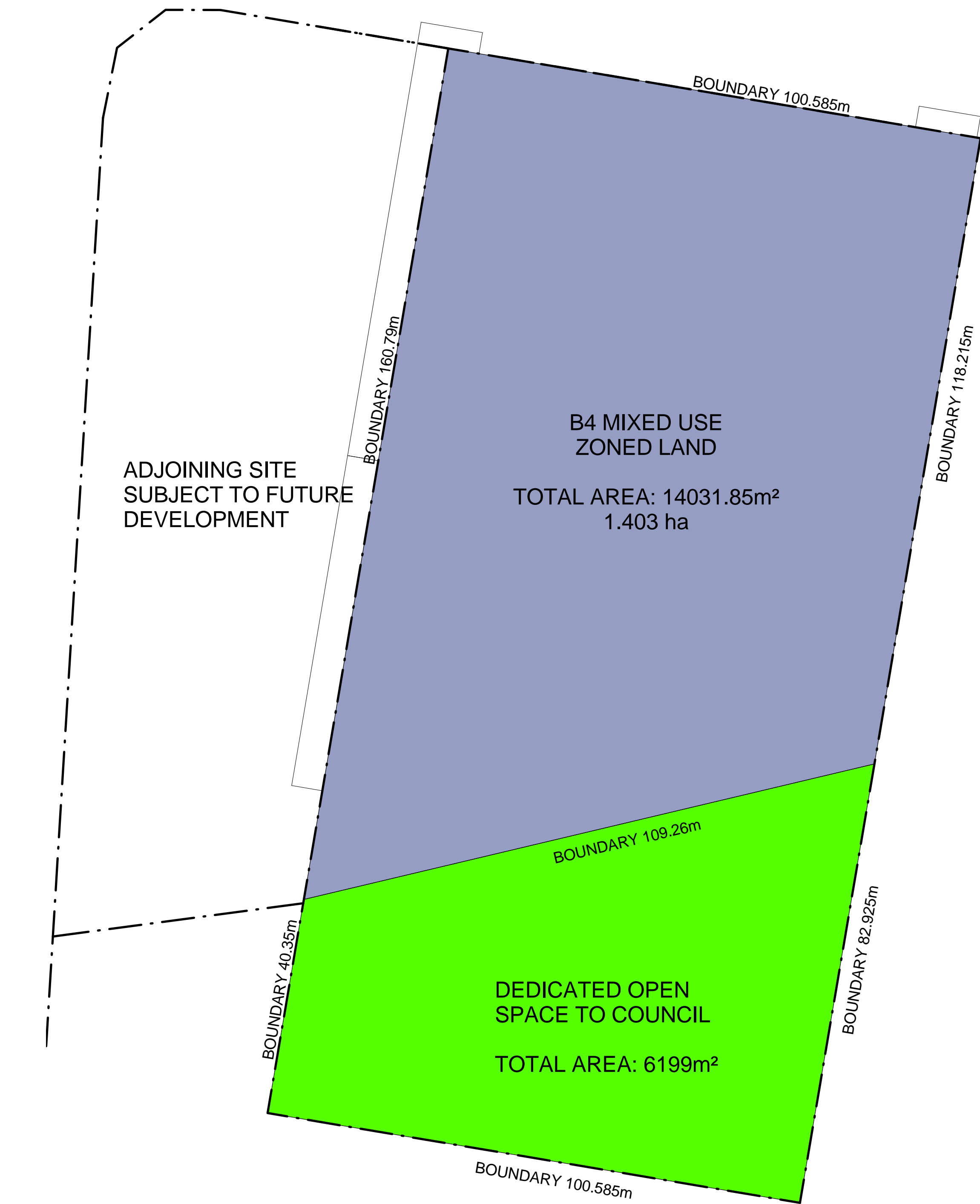
PROPOSED RESIDENTIAL APARTMENT BUILDING

LOT 7 SECTION E DP:6934,
184-192 RESTWELL RD PRAIRIEWOOD

Date.	Job No.	Sheet No.
23.06.15	2248_DA	SI-3
Scale.	Drawn by.	Issue.
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1 Existing Site Calculations
1 : 600



2 Proposed Lot Calculations
1 : 600

No.	Description	Date
C	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
B	DA AMENDMENTS - FOR APPROVAL	16.12.14
A	DRAFT AMENDMENTS	04.12.14

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SITE AREA CALCULATIONS

PROPOSED RESIDENTIAL APARTMENT BUILDING

LOT 7 SECTION E DP:6934,
184-192 RESTWELL RD PRAIRIEWOOD

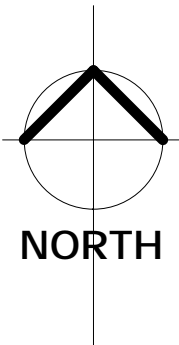
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23.06.15	2248_DA	SI-4
Scale.	Drawn by.	Issue.
1 : 600	JM	C

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1 Open Space Calculation Diagram
1 : 500



No.	Description	Date
B	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
A	DA AMENDMENTS - FOR APPROVAL	16.12.14

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SITE AREA CALCULATIONS

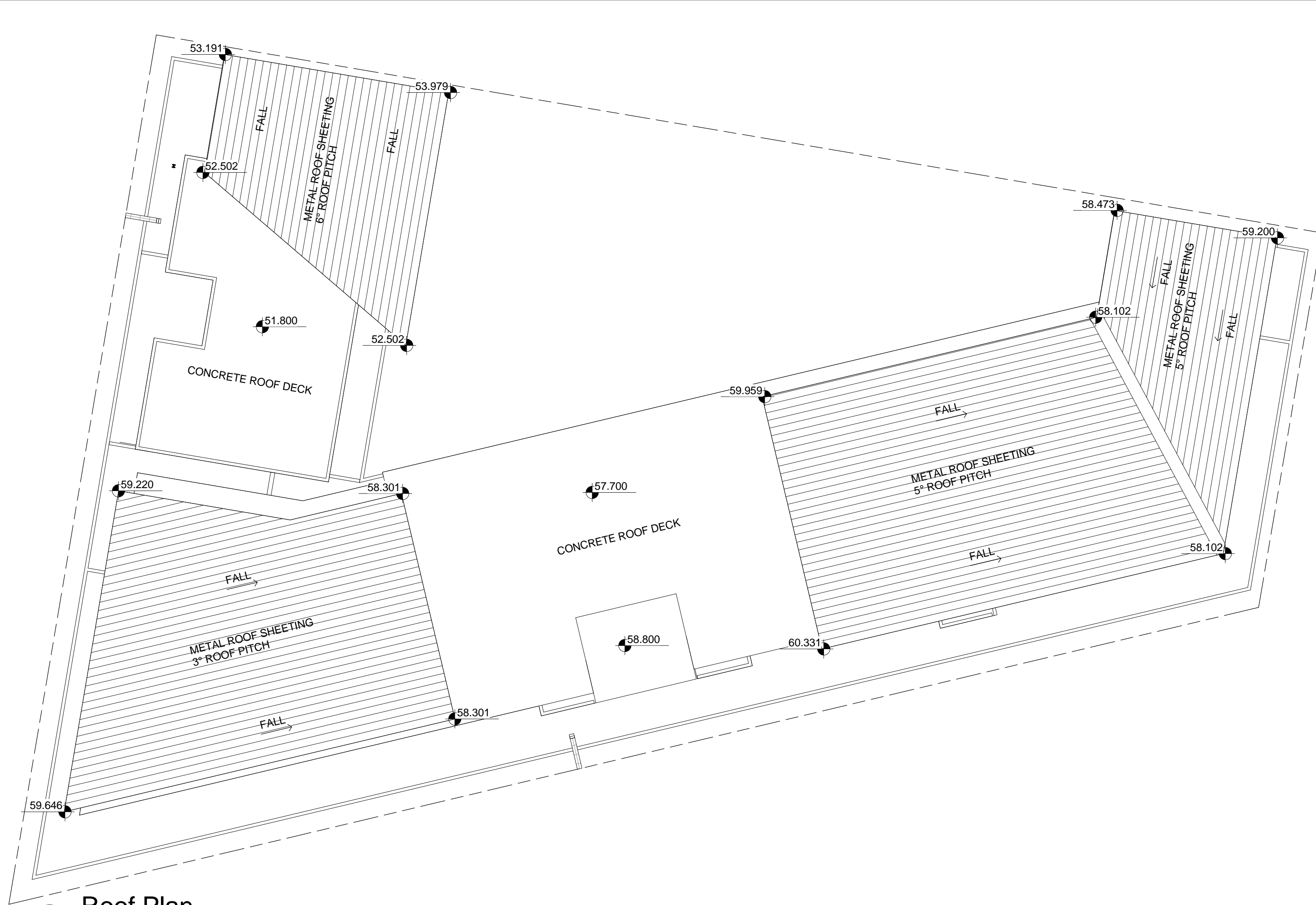
PROPOSED RESIDENTIAL APARTMENT BUILDING

LOT 7 SECTION E DP:6934,
184-192 RESTWELL RD PRAIRIEWOOD

Date.	Job No.	Sheet No.
23.06.15	2248_DA	SI-5
Scale.	Drawn by.	Issue.
1 : 500	JM	B

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nominated architect Alfredo Pagano 6774 Salvatore Pagano 7003



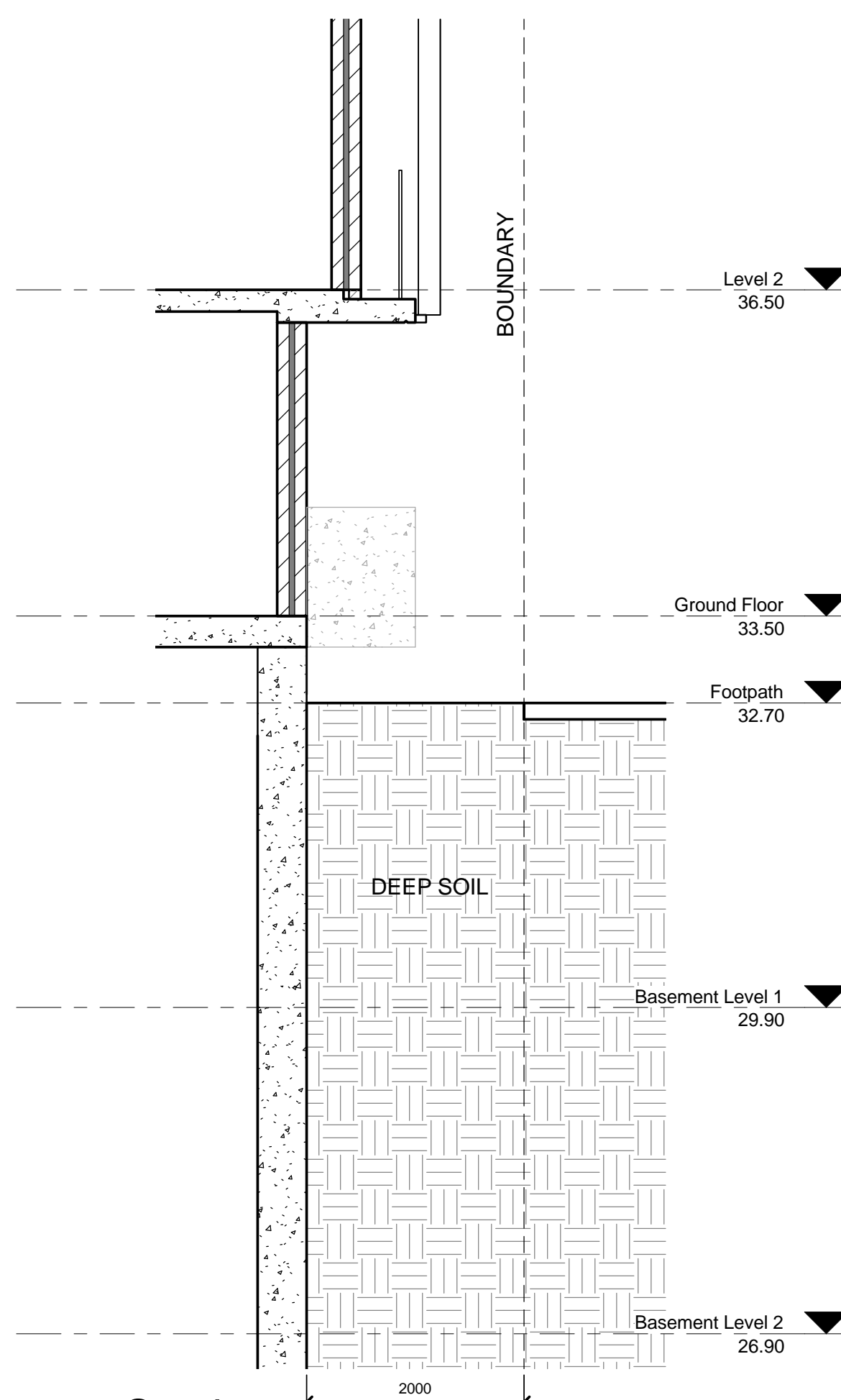


1 Roof Plan
1 : 200

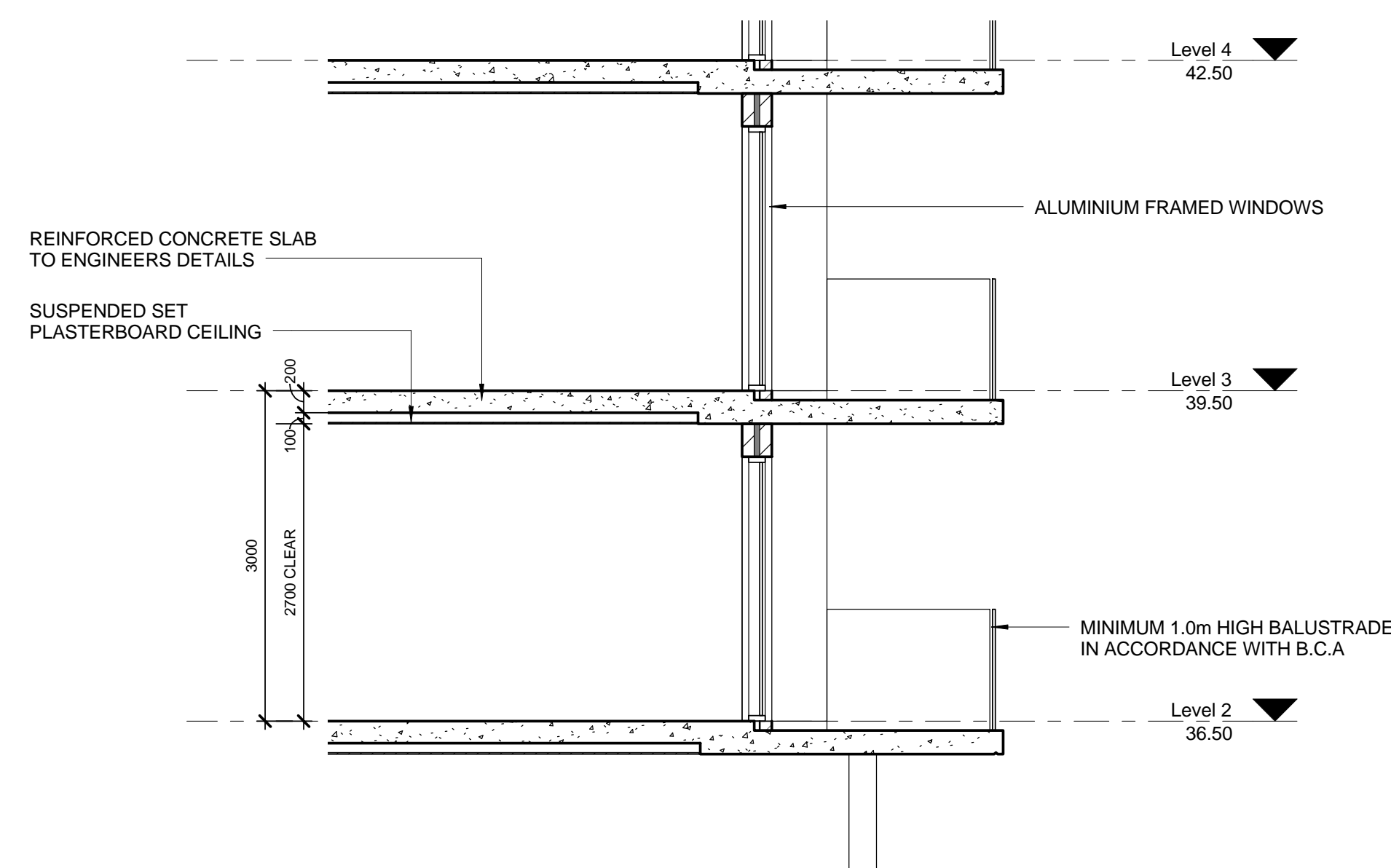


2 Maximum Building Height Plane

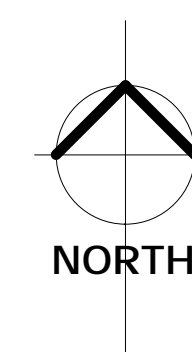
MEASUREMENTS INDICATE HEIGHT OF ROOF PROJECTING ABOVE THE MAXIMUM BUILDING HEIGHT PLANE OF 26m



3 Perimeter Section
1 : 50



4 Typical Section
1 : 50



No.	Description	Date
C	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
B	DA AMENDMENTS - FOR APPROVAL	16.12.14
A	DRAFT AMENDMENTS	04.12.14

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ROOF PLAN & SECTION DETAILS

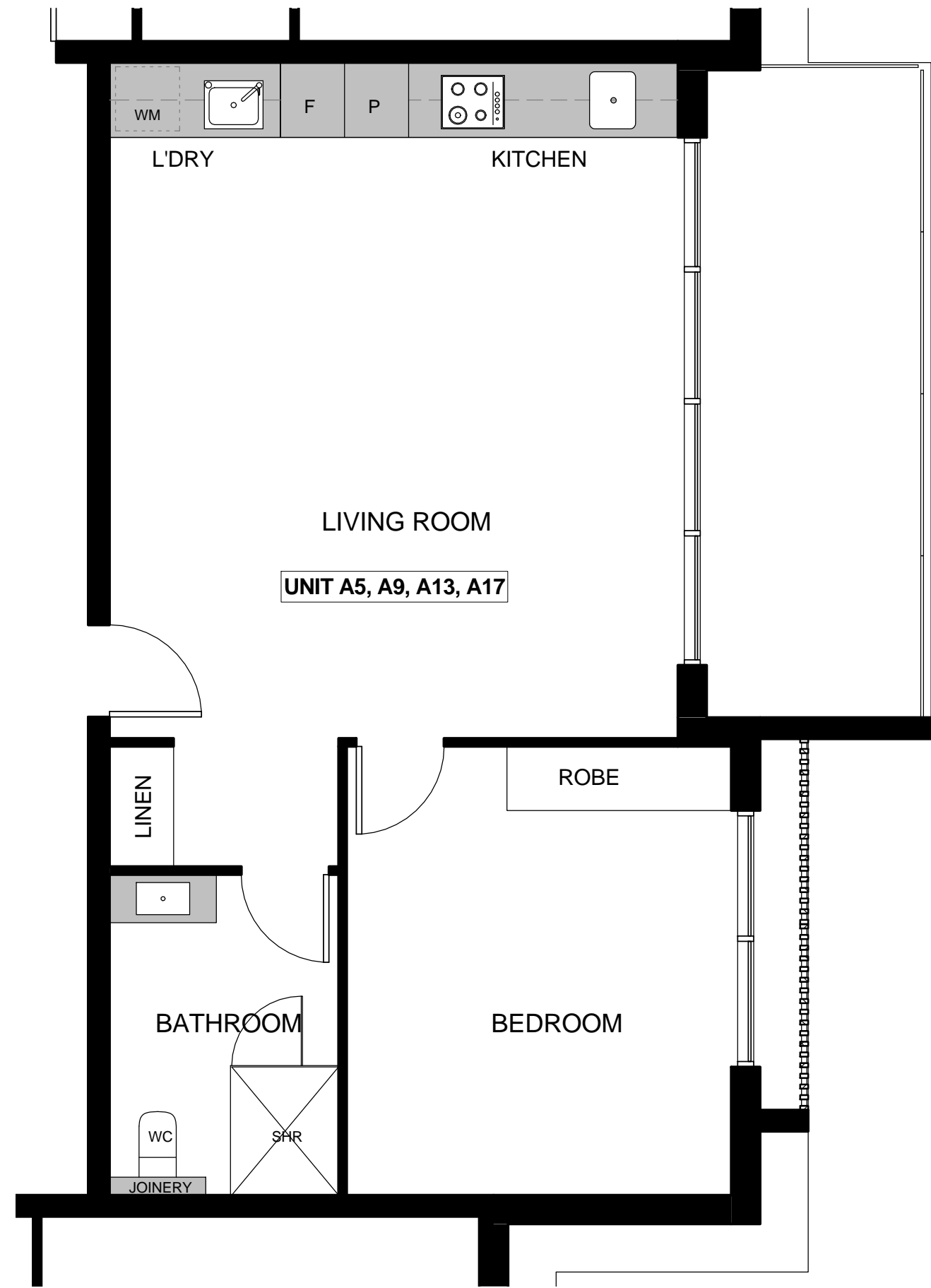
PROPOSED RESIDENTIAL APARTMENT BUILDING

LOT 7 SECTION E DP:6934,
184-192 RESTWELL RD PRAIRIEWOOD

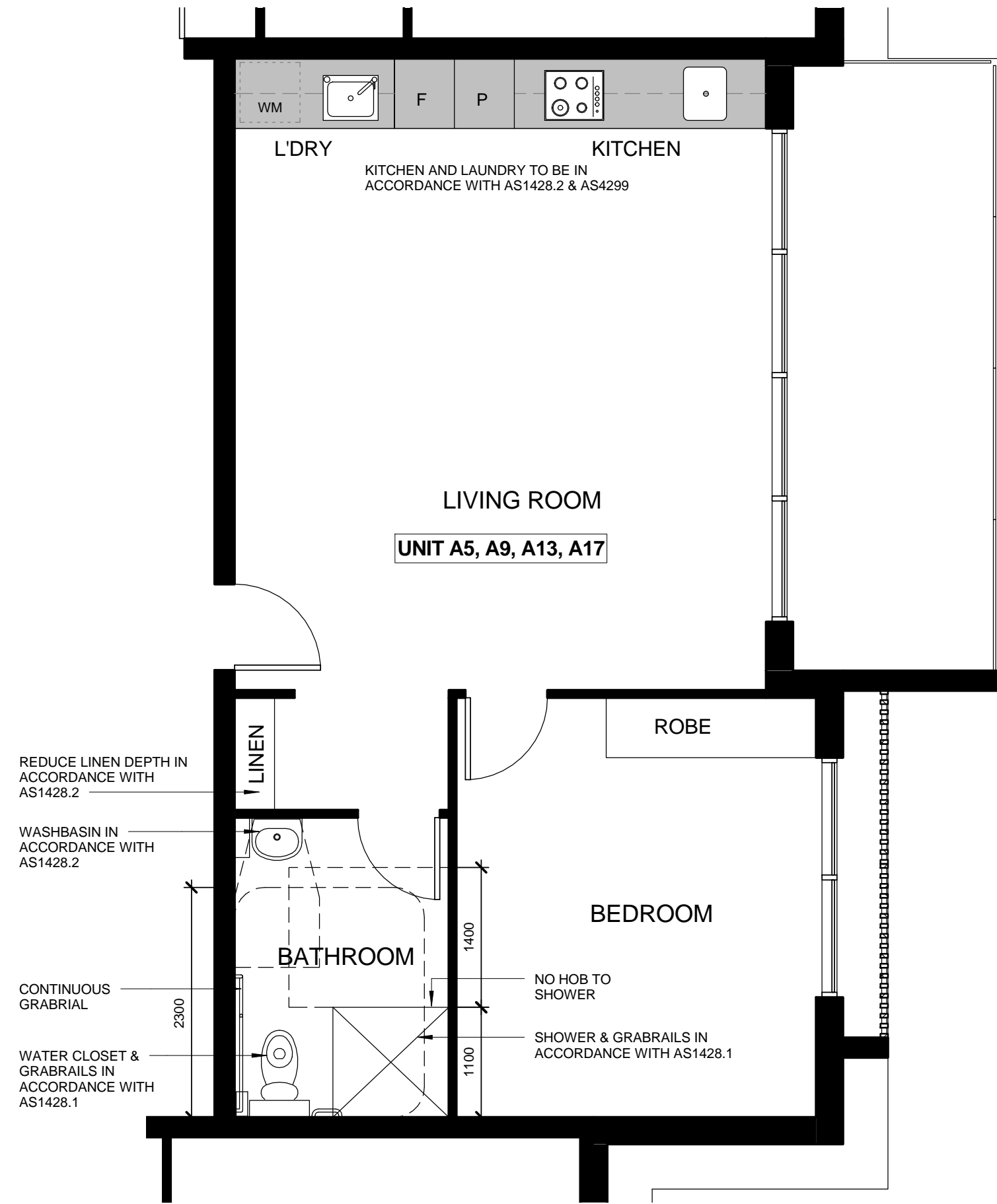
Date.	Job No.	Sheet No.
23.06.15	2248_DA	SI-6
Scale.	Drawn by.	Issue.
As indicated	JM	C

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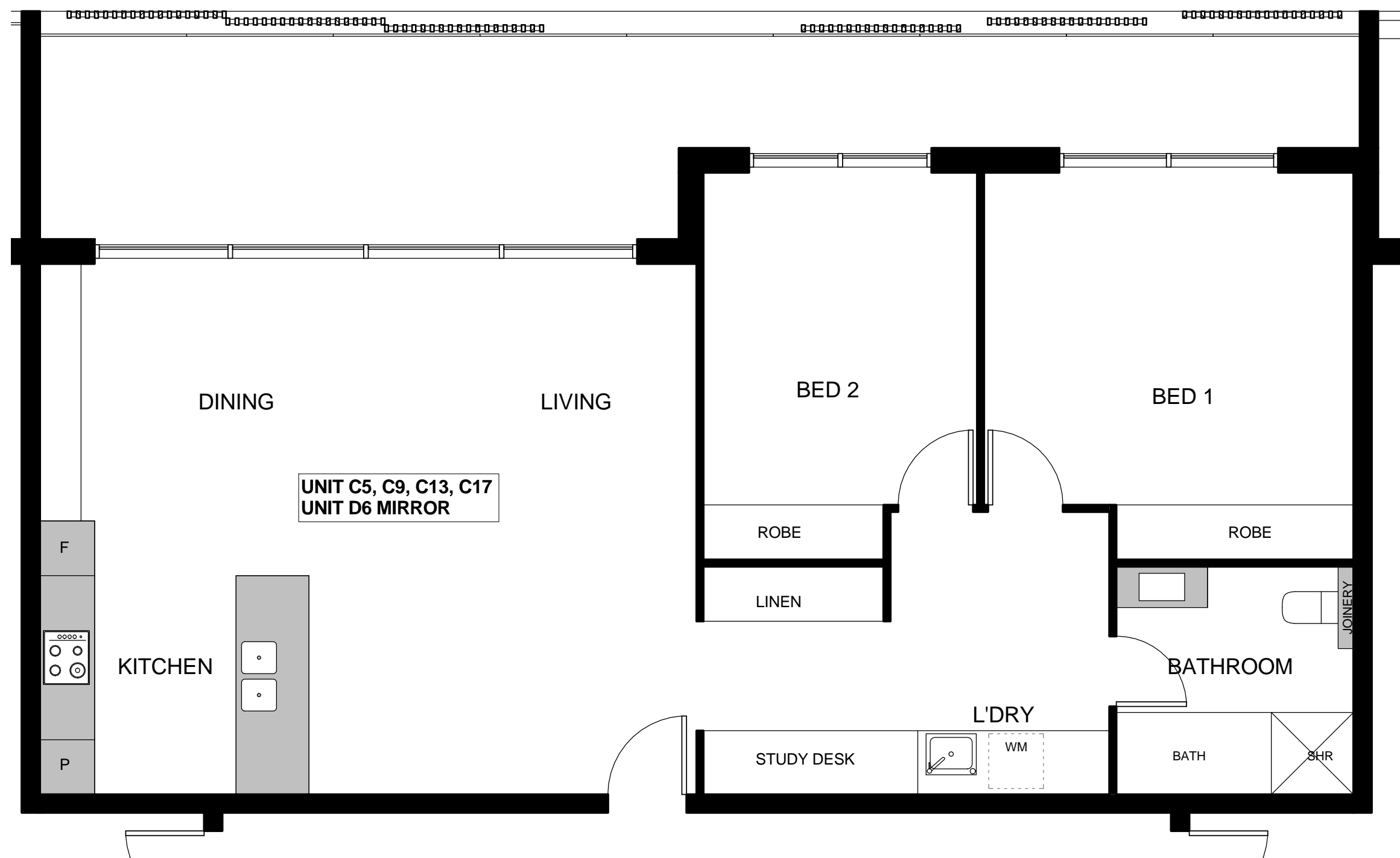
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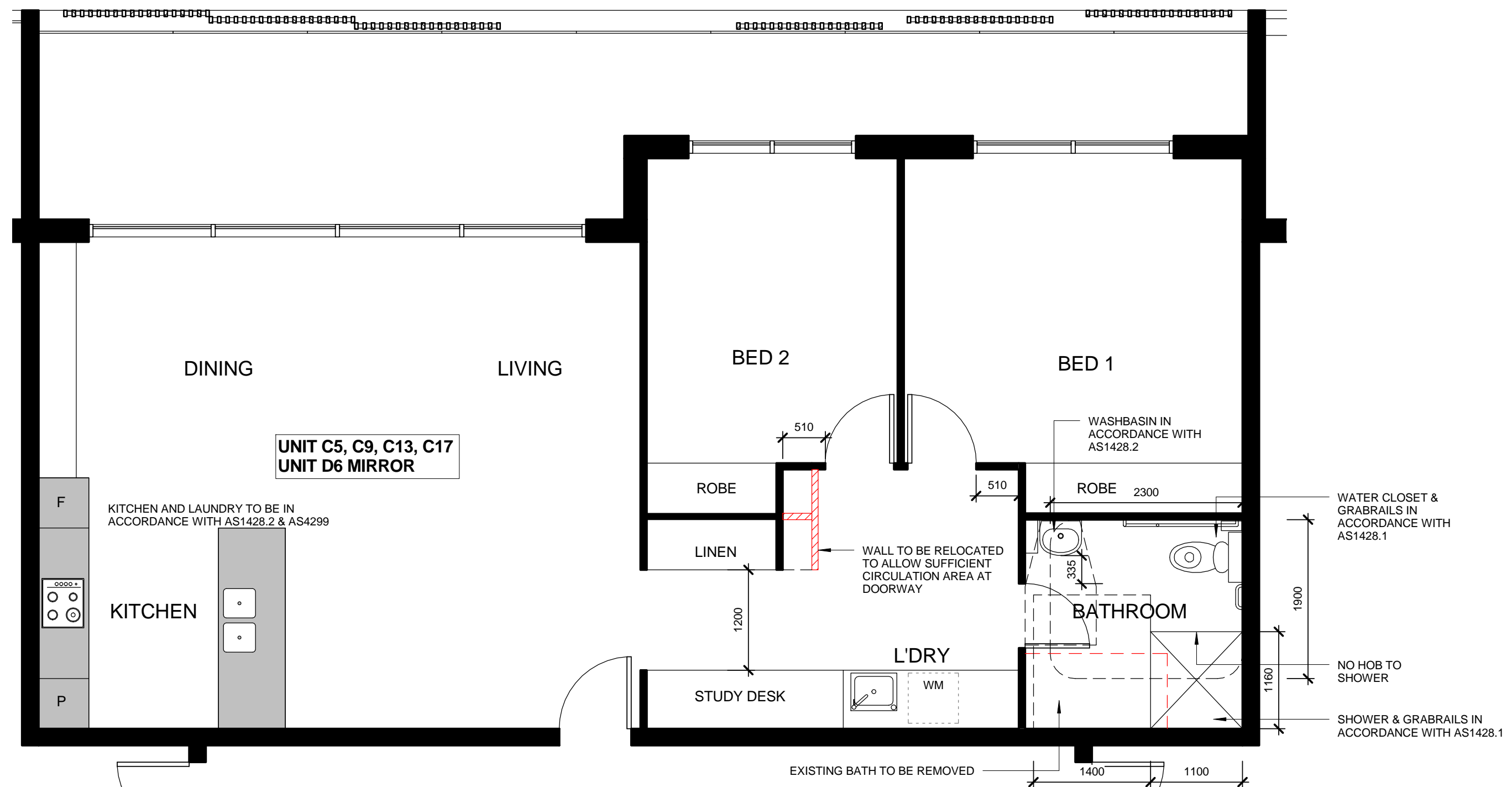
1 Type A Pre Adaptation Plan
1 : 50



2 Type A Post Adaptation Plan
1 : 50



3 Type C Pre Adaptation Plan
1 : 50



4 Type C Post Adaptation Plan
1 : 50

No.	Description	Date
C	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
B	DA AMENDMENTS - FOR APPROVAL	16.12.14
A	DRAFT AMENDMENTS	04.12.14

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ADAPTABLE UNIT DETAILS

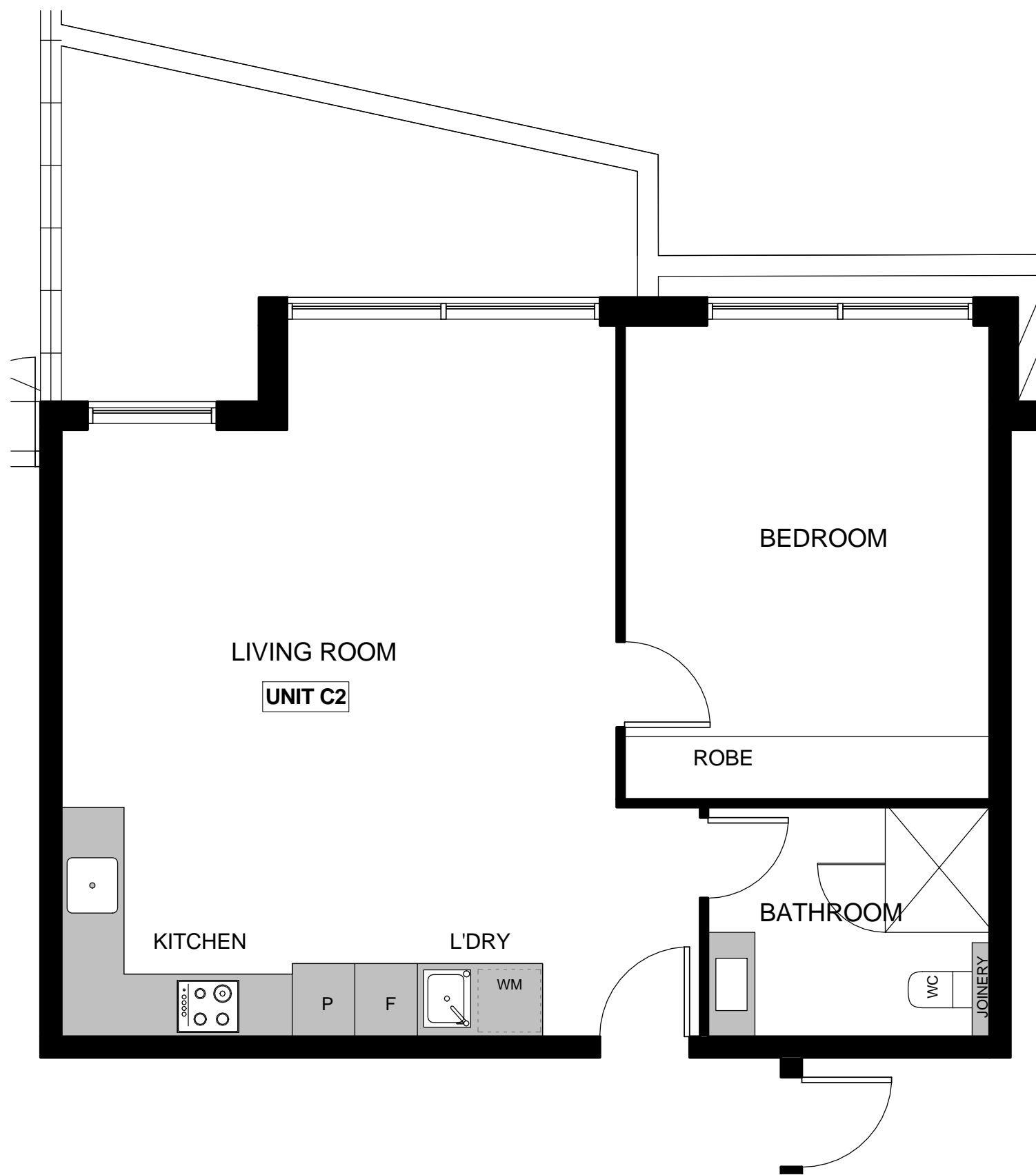
PROPOSED RESIDENTIAL APARTMENT BUILDING

LOT 7 SECTION E DP:6934,
184-192 RESTWELL RD PRAIRIEWOOD

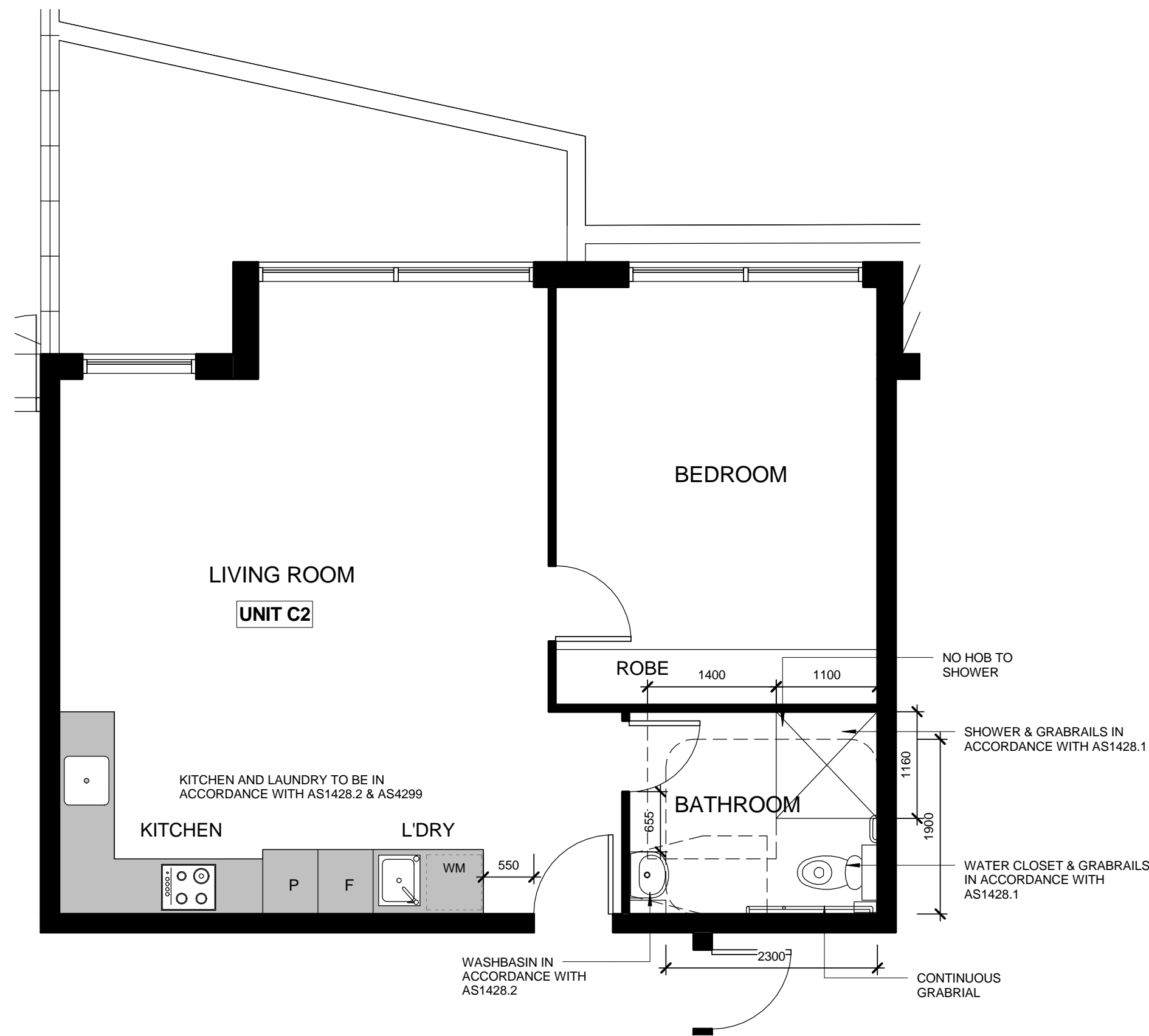
Date.	Job No.	Sheet No.
23.06.15	2248_DA	SI-7
Scale.	Drawn by.	Issue.
1 : 50	JM	C

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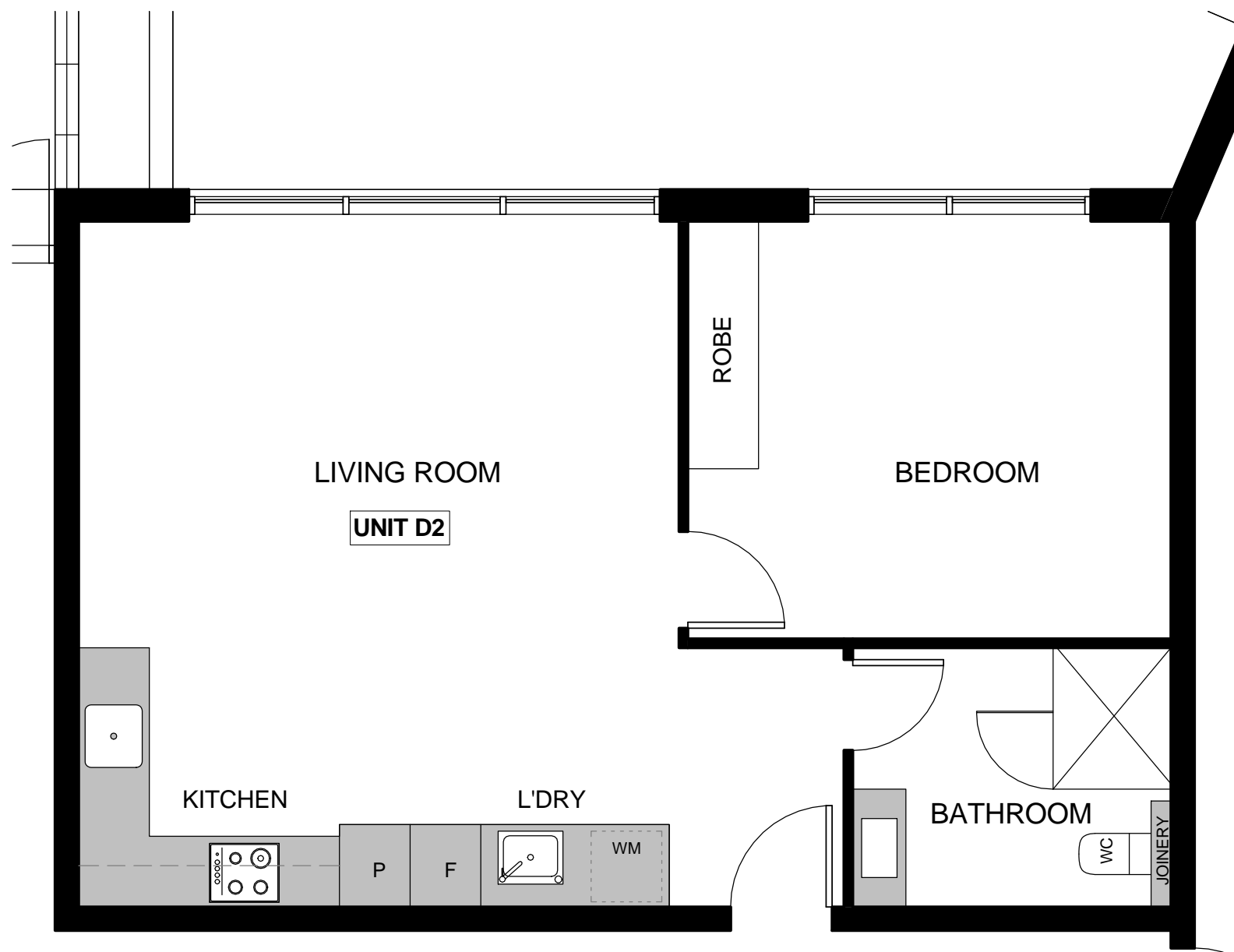
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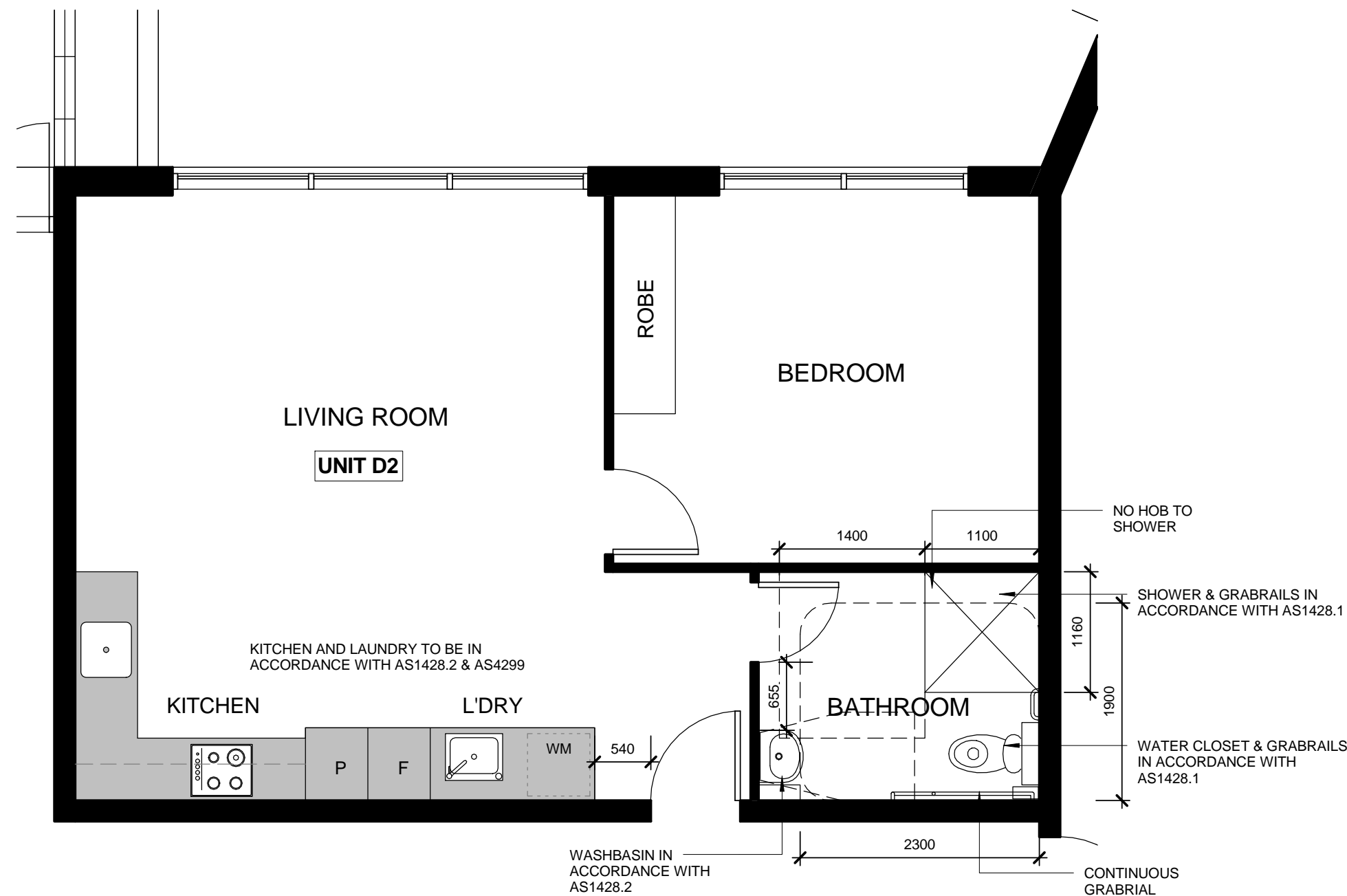
1 Unit C2 Pre Adaptation Plan
1 : 50



2 Unit C2 Post Adaptation Plan
1 : 50



3 Unit D2 Pre Adaptation Plan
1 : 50



4 Unit D2 Post Adaptation Plan
1 : 50

No.	Description	Date
B	ROAD DESIGN AND BUILDING AMENDMENTS - FOR APPROVAL	05.06.15
A	DA AMENDMENTS - FOR APPROVAL	16.12.14

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ADAPTABLE UNIT DETAILS

PROPOSED RESIDENTIAL APARTMENT BUILDING

LOT 7 SECTION E DP:6934,
184-192 RESTWELL RD PRAIRIEWOOD

Date.	Job No.	Sheet No.
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Scale.	Drawn by.	Issue.
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